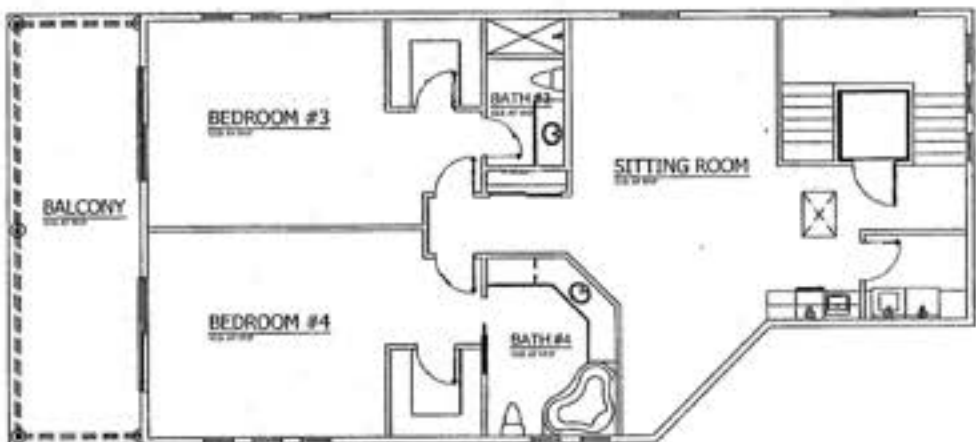
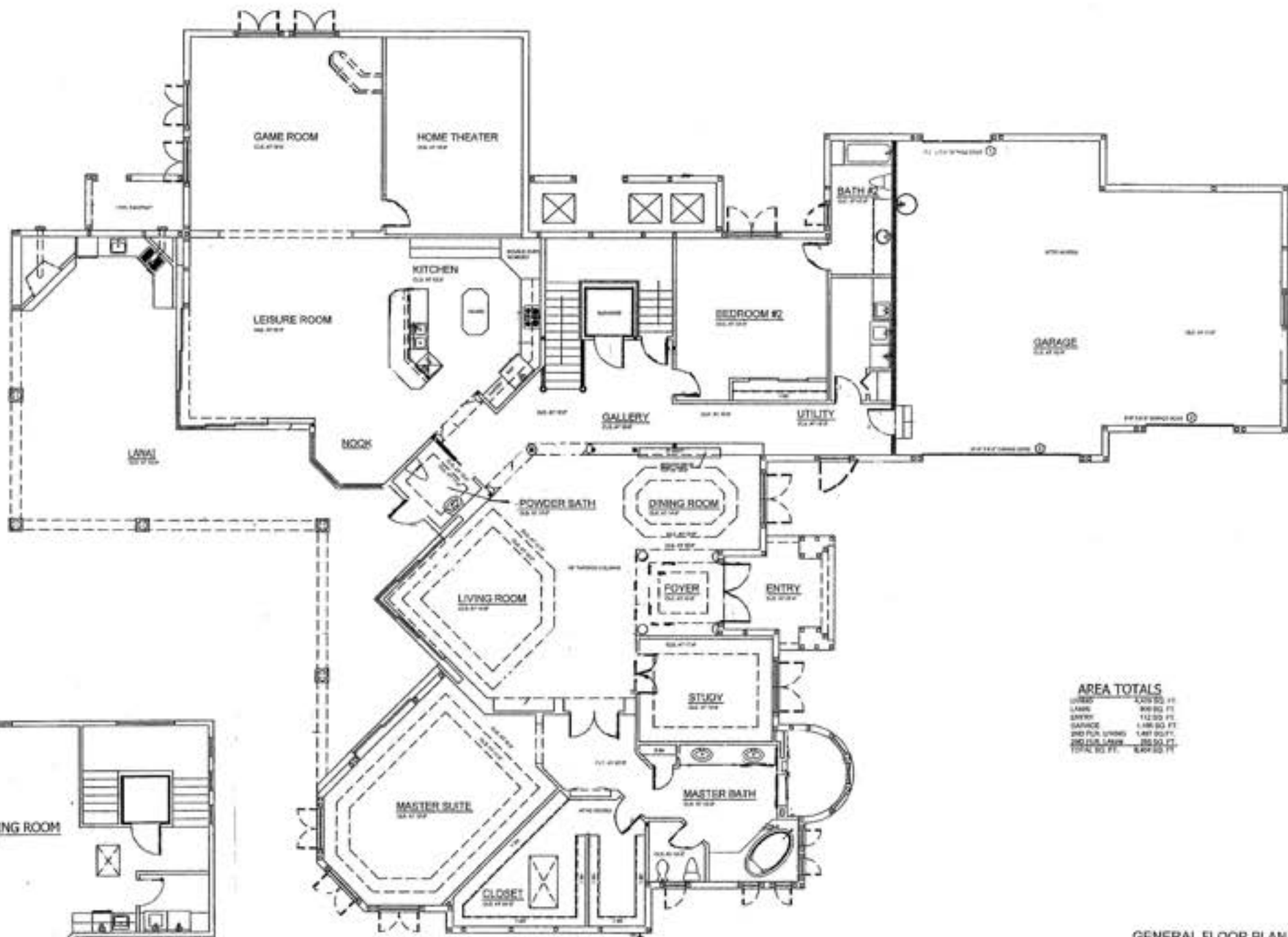


## Floor Plans

These floor plans have been assembled as a resource for you. They may not be inclusive of every home in the community.

Please note that over time, owners may make modifications to spaces that may not be captured in these original floor plans.

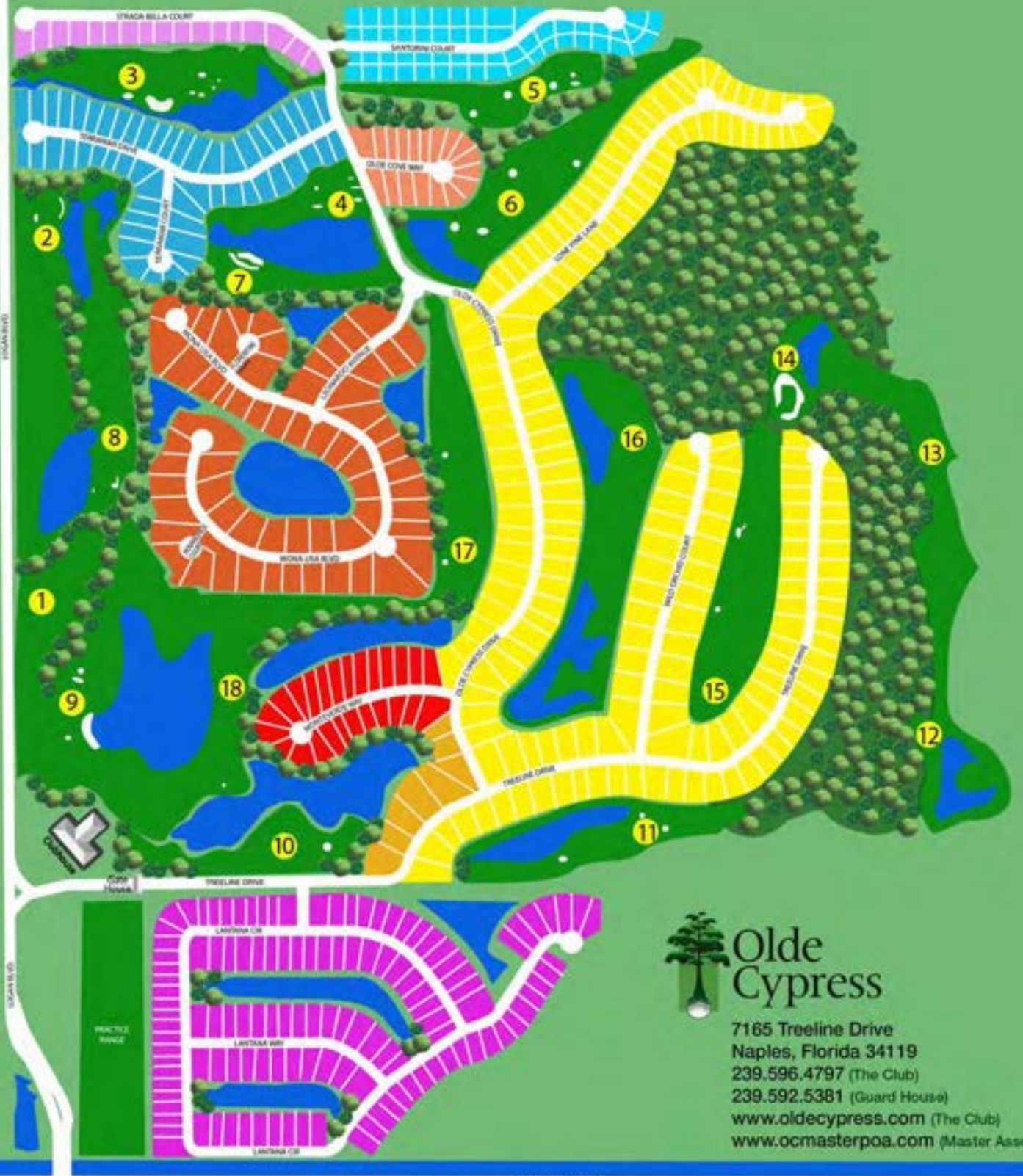
Renderings are not a guarantee of space measurement. Interested parties should verify through their own secured services.



**AREA TOTALS**

LIVING	2,212 SQ. FT.
KITCHEN	114 SQ. FT.
BEDRM.	112 SQ. FT.
GARAGE	2,312 SQ. FT.
2ND FLR. UNFIN.	1,887 SQ. FT.
2ND FLR. FIN.	222 SQ. FT.
<b>TOTAL SQ. FT.</b>	<b>8,447 SQ. FT.</b>

**GENERAL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**Olde  
Cypress**

7165 Treeline Drive  
 Naples, Florida 34119  
 239.596.4797 (The Club)  
 239.592.5381 (Guard House)  
[www.oldecypress.com](http://www.oldecypress.com) (The Club)  
[www.ocmasterpoa.com](http://www.ocmasterpoa.com) (Master Association)

**Olde Cypress Neighborhood Site Map**

- |                 |                  |           |
|-----------------|------------------|-----------|
| Biscayne Place  | Olde Cypress HOA | Terramar  |
| DaVinci Estates | Santa Rosa       | Lantana   |
| Egret Cove      | Strada Bella     | Santorini |

# SAN REMO III

*2 Bedroom, 2 Bath, Great Room, Study (Optional 3rd Bedroom),  
Dining Room, Screened Covered Lanai and 2-Car Garage*



**LANIANA**  
at Olde Cypress

**STOCK**  
INCORPORATED

CBC 1252429 QB 28957



OPTIONAL 3RD BEDROOM  
in lieu of Study

## SAN REMO III

### SQUARE FOOTAGE CALCULATIONS

#### SQUARE FEET

Living Area	1,809 sq. ft.
Covered Lanai	475 sq. ft.
Entry	23 sq. ft.
Garage	569 sq. ft.
<b>TOTAL</b>	<b>2,876 sq. ft.</b>



Elevation B



Elevation C

*These drawings are conceptual only and are for the convenience of reference. They should not be relied upon as representation, expressed or implied, of the final details of the residences. The developer expressly reserves the right to make modifications, revisions, and changes it deems desirable in its sole and absolute discretion. Dimensions and square footage are approximate and may vary with actual construction.*





<b>Venetian Floorplan</b>	
Living Area:	1,921 Sq. Ft.
Entry:	110 Sq. Ft.
Covered Lanai:	171 Sq. Ft.
Garage:	460 Sq. Ft.
<b>Total Area:</b>	<b>2,662 Sq. Ft.</b>

*Note: All dimensions are from Property Appraiser's Website. Floorplan is for representation purposes only.*

# TIVOLI III

*3 Bedroom, 3 Bath, Great Room, Dinette,  
Study, Screened Covered Lanai and 2-Car Garage*



**LANIANA**  
at Olde Cypress

**STOCK**  
CONSTRUCTION

CBC 1252429 QB 28957





## TIVOLI III

### SQUARE FOOTAGE CALCULATIONS

#### SQUARE FEET

Living Area	2,062 sq. ft.
Covered Lanai	380 sq. ft.
Entry	37 sq. ft.
Garage	578 sq. ft.
<b>TOTAL</b>	<b>3,057 sq. ft.</b>

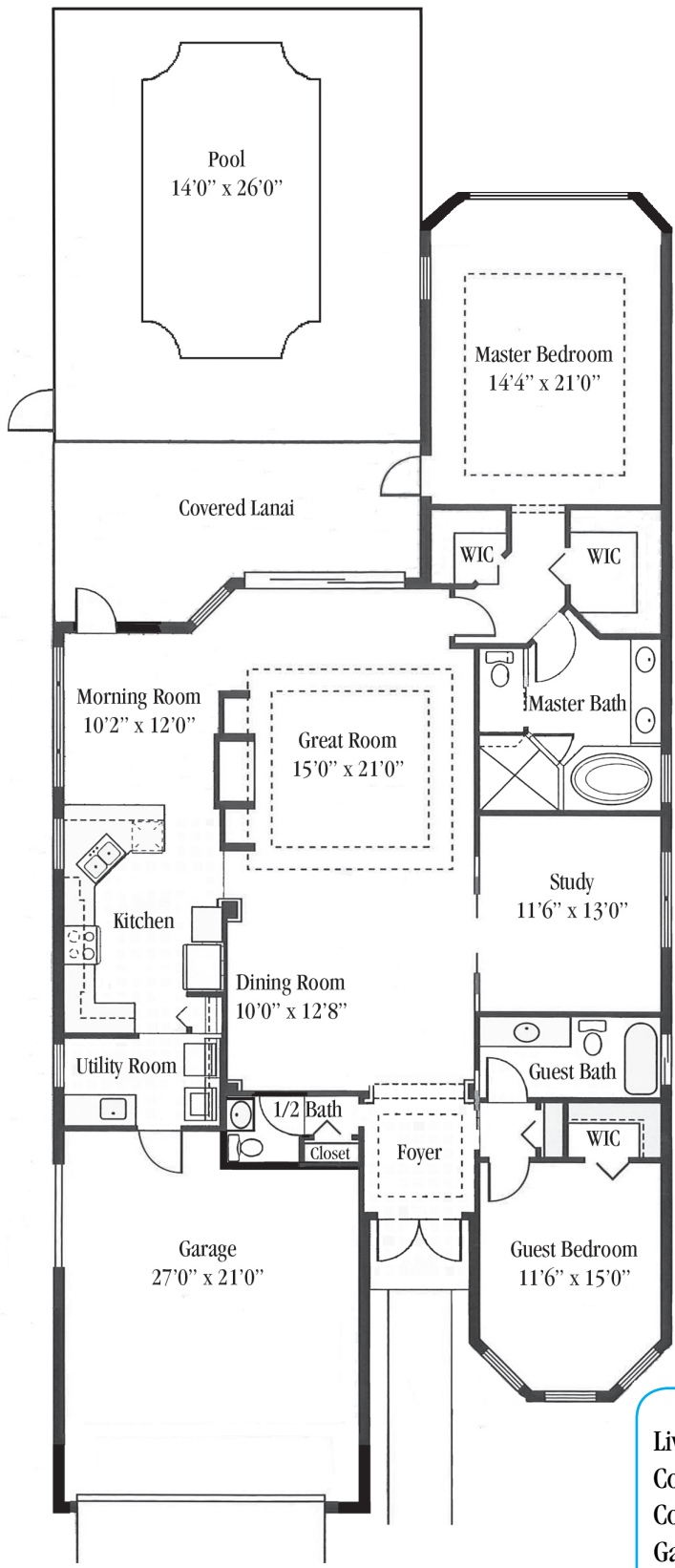


Elevation B



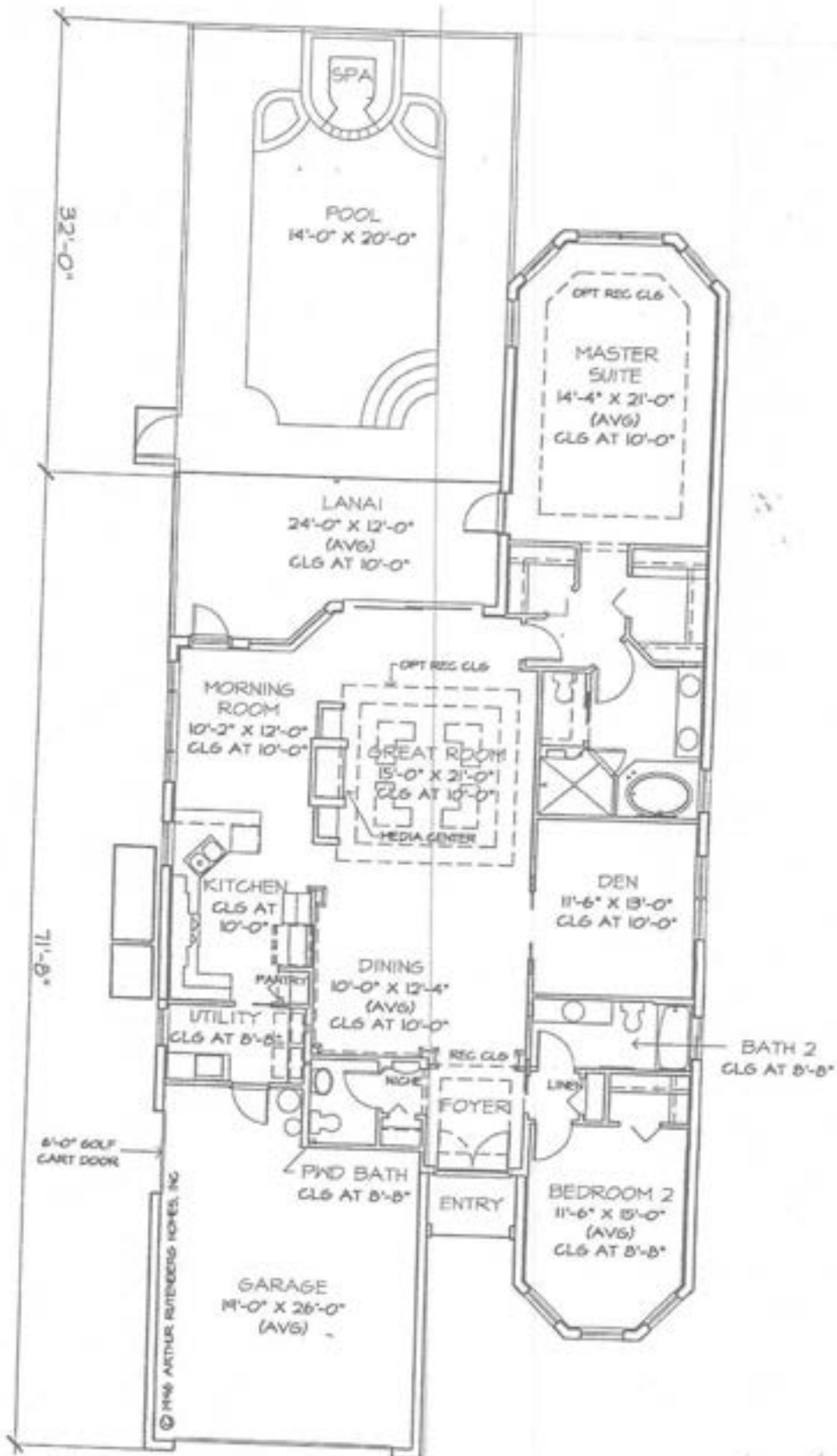
Elevation C

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Living Area A/C	2,085 SF
Covered Entry	35 SF
Covered Lanai	248 SF
Garage	540 SF
<b>TOTAL Under Roof</b>	<b>2,908 SF</b>

*Dimensions are from Property Appraiser's Website. Floorplan is for representation purposes only, not to scale.*



# Olde Cypress Model

The Montreux III  
 Plan #: 388-2F-L-03  
 Franchise: #32 A.R.B.C. Corp  
 © 1996 Arthur Rutenberg Homes, Inc.  
 File #: 32-OC-Model  
 Drawn By: K.M.  
 January 8, 2001

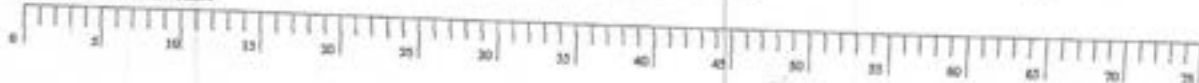
Living	2134 S.F.
Lanai	247 S.F.
Garage	501 S.F.
Entry	31 S.F.
Total area	2913 S.F.

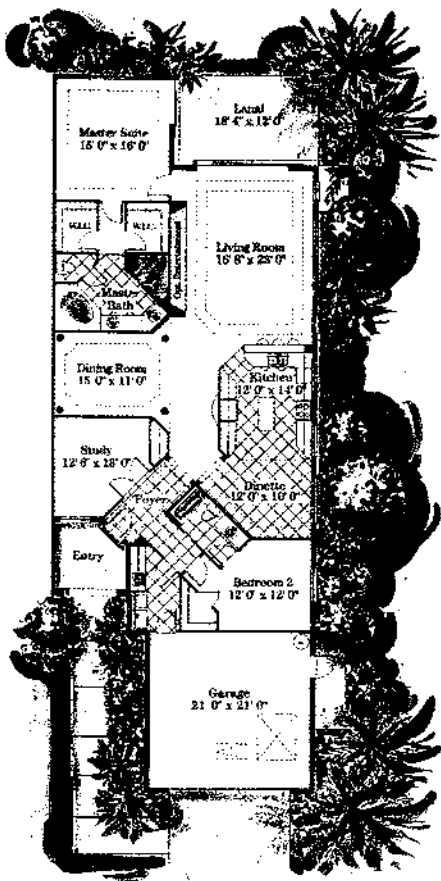
Note: Plan information is conceptual only. Certain items may be changed at production stage of plans.



Arthur Rutenberg  
Homes

MEASUREMENT IN FEET



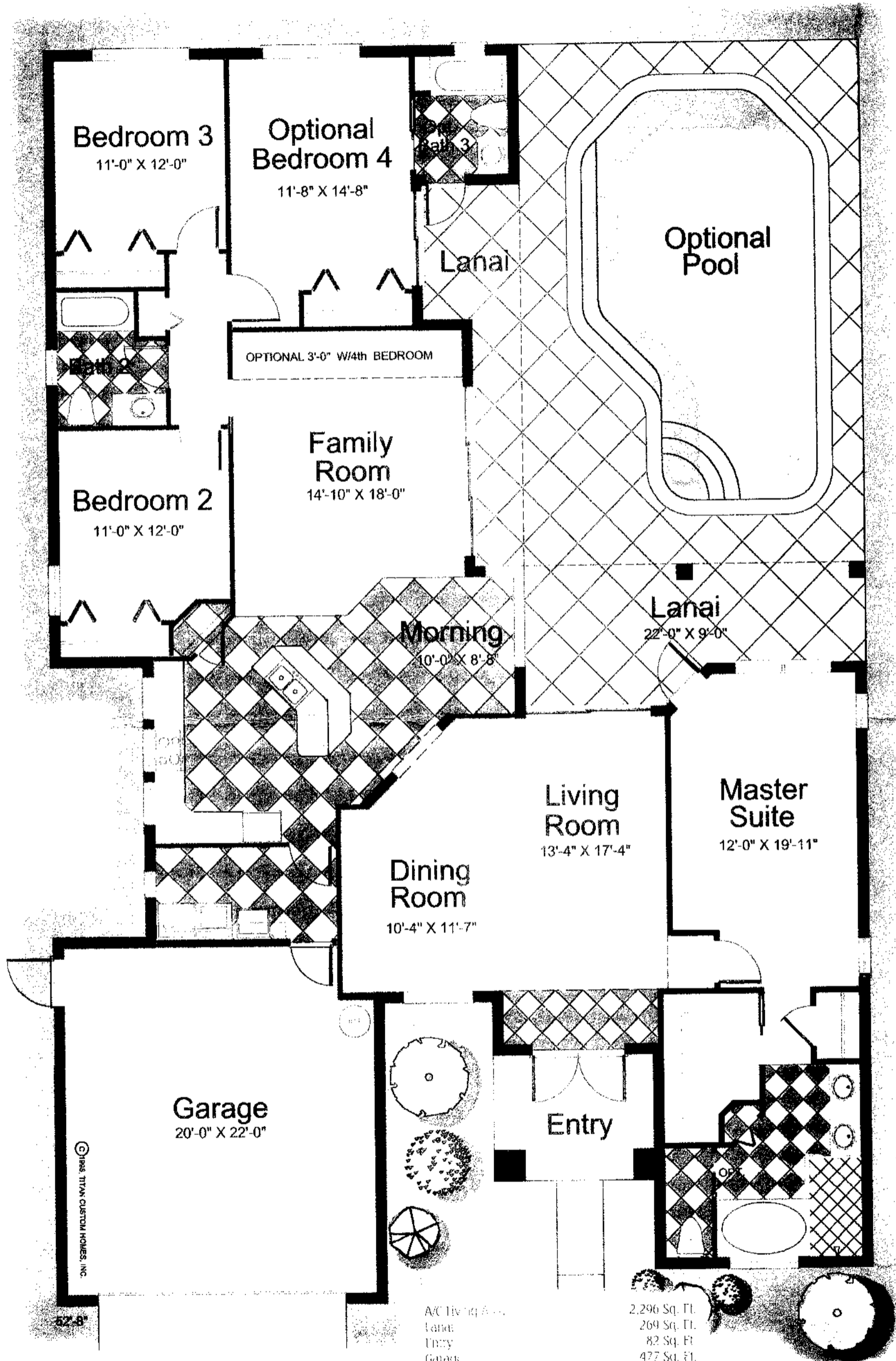


## THE SIENNA

Living Area:	2,193 Sq. Ft.
Garage:	476 Sq. Ft.
Lanai:	228 Sq. Ft.
Entry:	90 Sq. Ft.
Total Area:	2,987 Sq. Ft.

# The Chamberlain

Four Bedrooms, Three Baths, with Family Room

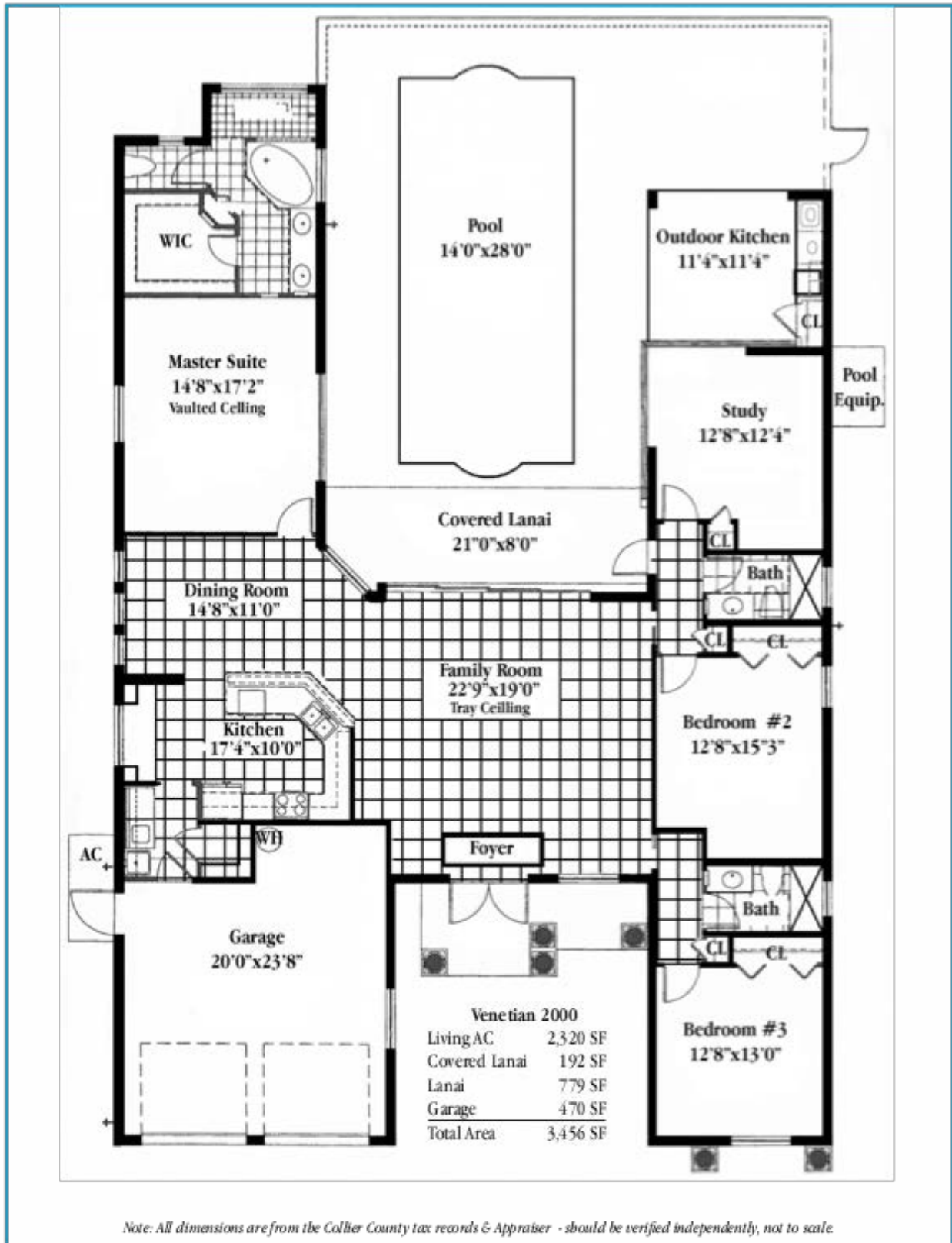


©1998 TITAN CUSTOM HOMES, INC.

AC Living Area	2,296 Sq. Ft.
Lanai	269 Sq. Ft.
Entry	82 Sq. Ft.
Garage	477 Sq. Ft.
TOTAL	3,124 Sq. Ft.
Three Bedrooms - Two Bath Option	
AC Living Area	1,987 Sq. Ft.
Lanai	208 Sq. Ft.
TOTAL	2,754 Sq. Ft.



**TITAN CUSTOM HOMES, INC.**  
*Building your best home.*  
 WWW.TITANCUSTOMHOMES.COM



Note: All dimensions are from the Collier County tax records & Appraiser - should be verified independently, not to scale



OPTIONAL STUDY  
in lieu of Dining



OPTIONAL 4TH BEDROOM  
in lieu of Study

## MONTESSA II

### SQUARE FOOTAGE CALCULATIONS

#### SQUARE FEET

Living Area	2,327 sq. ft.
Covered Lanai	627 sq. ft.
Entry	36 sq. ft.
Garage	696 sq. ft.

**TOTAL** 3,686 sq. ft..



Elevation B



Elevation C

*These drawings are conceptual only and are for the convenience of reference. They should not be relied upon as representation, expressed or implied, of the final details of the residences. The developer expressly reserves the right to make modifications, revisions, and changes it deems desirable in its sole and absolute discretion. Dimensions and square footage are approximate and may vary with actual construction.*



## VIVALDI

3 Bedroom, plus Loft, 3 Bath

Living Area 1st Fl. 1,840 Sq. Ft.

Living Area 2nd Fl. 667 Sq. Ft.

Total Living Area 2,507 Sq. Ft.

Garage 441 Sq. Ft.

Lanai 157 Sq. Ft.

Balcony 170 Sq. Ft.

Entry 58 Sq. Ft.

Total 3,333 Sq. Ft.

All plans, dimensions and information are approximate and are subject to change without notice. The developer reserves the right to modify the site plan, amenities and feature products.

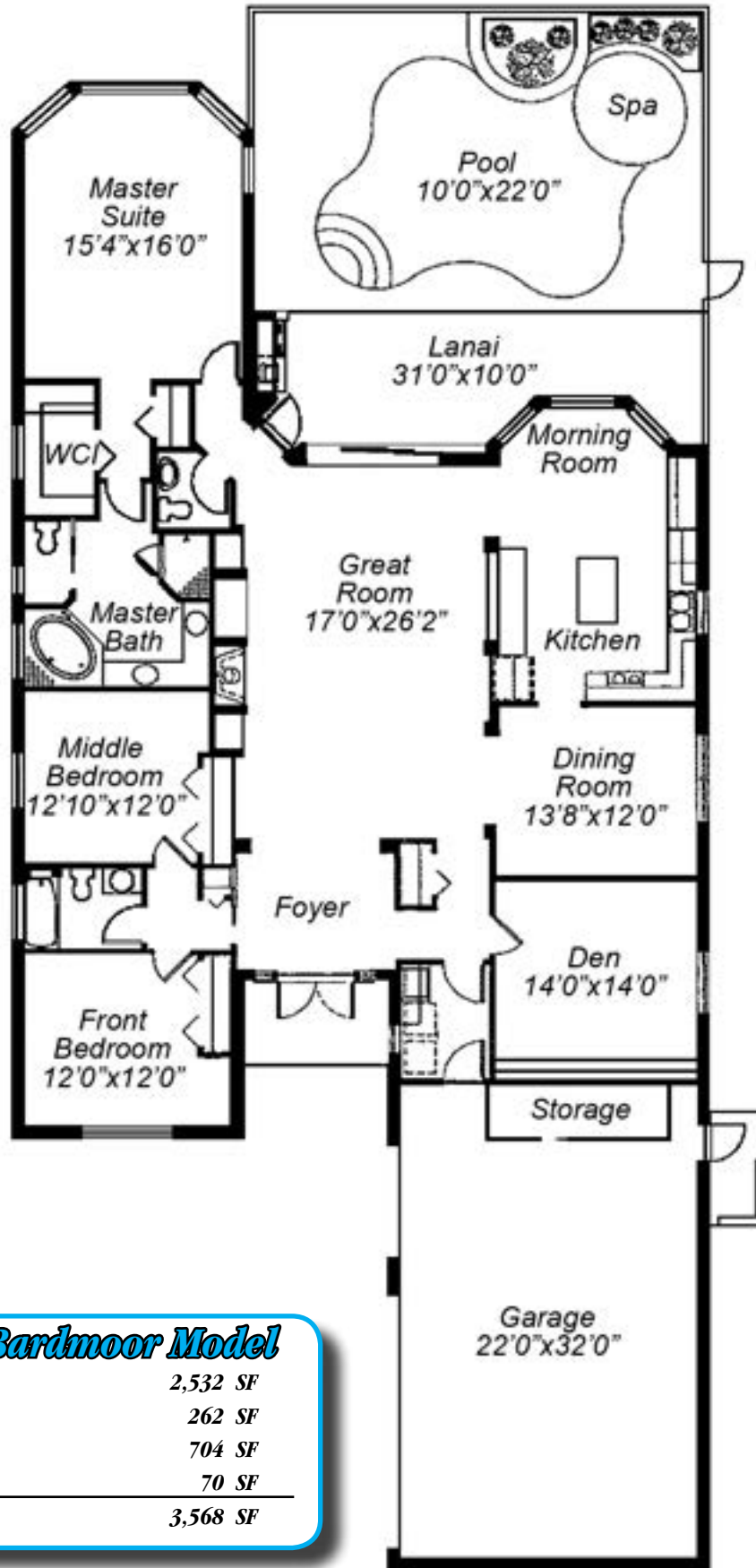


# SANTORINI

VILLAS AT OLDE CYPRESS

3074 Santorini Court, Naples, Florida 34119 • 941-596-8272 • Fax: 941-596-8274 • www.johnsoave.com





### ***The Bardmoor Model***

<b>Living Area</b>	<b>2,532 SF</b>
<b>Lanai</b>	<b>262 SF</b>
<b>Garage</b>	<b>704 SF</b>
<b>Entry</b>	<b>70 SF</b>
<b>Total</b>	<b>3,568 SF</b>

*Note: All dimensions are from tax records & builder blue prints - should be verified independently.*

# RUFFINO II

*3 Bedroom, 2-1/2 Bath, Great Room, Dining Room,  
Study (Optional 4th Bedroom), Screened Covered Lanai and 3-Car Garage*



Elevation A

**LANIANA**  
at Olde Cypress

**STOCK**  
CONSTRUCTION

CBC 1252429 QB 28957



OPTIONAL STUDY  
in lieu of Dining



OPTIONAL 4TH BEDROOM  
in lieu of Study

## RUFFINO II

### SQUARE FOOTAGE CALCULATIONS

#### SQUARE FEET

Living Area	2,585 sq. ft.
Covered Lanai	398 sq. ft.
Entry	62 sq. ft.
Garage	736 sq. ft.
<b>TOTAL</b>	<b>3,781 sq. ft.</b>

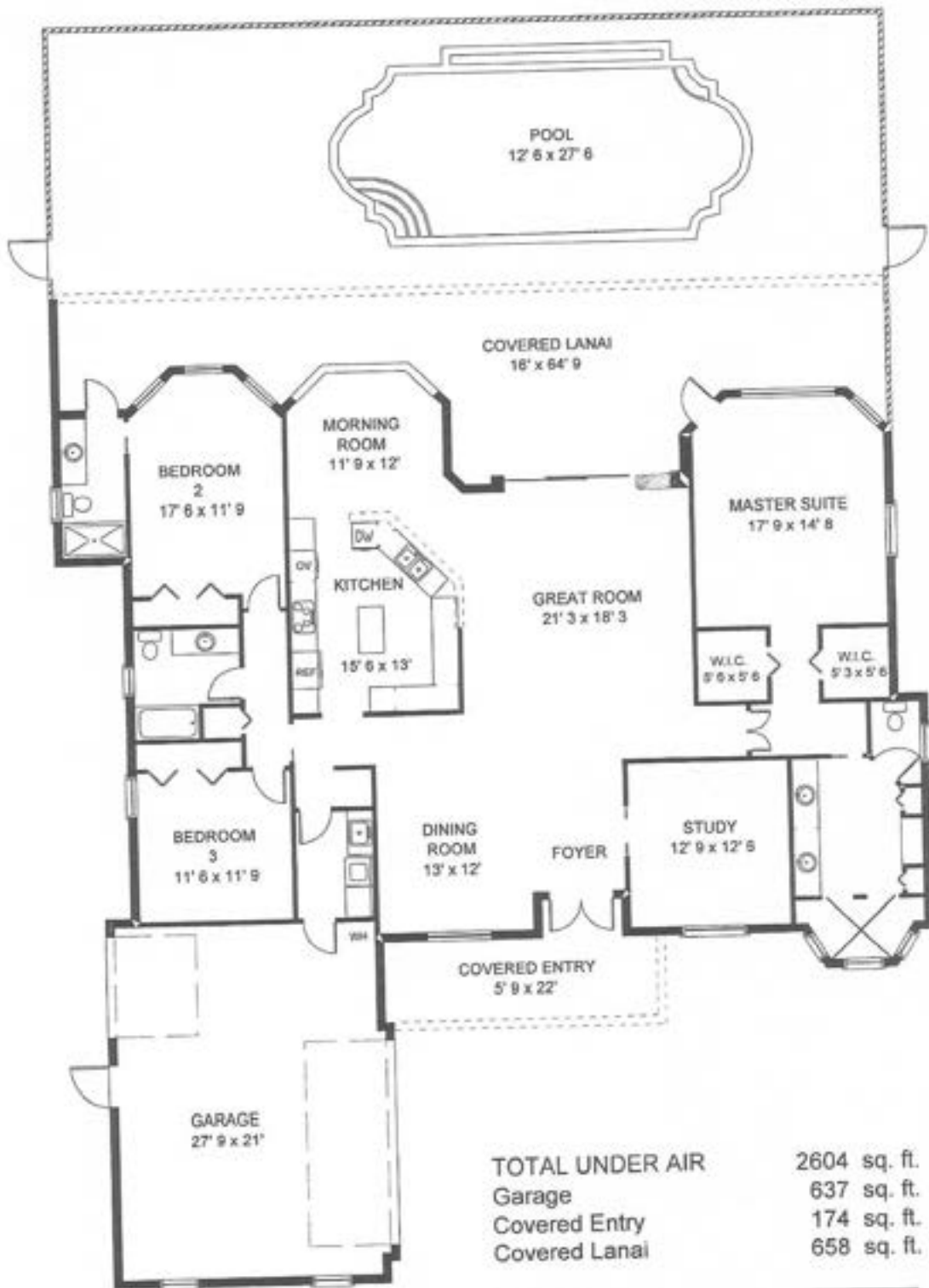


Elevation B



Elevation

*These drawings are conceptual only and are for the convenience of reference. They should not be relied upon as representation, expressed or implied, of the final details of the residences. The developer expressly reserves the right to make modifications, revisions, and changes it deems desirable in its sole and absolute discretion. Dimensions and square footage are approximate and may vary with actual construction.*



TOTAL UNDER AIR	2604 sq. ft.
Garage	637 sq. ft.
Covered Entry	174 sq. ft.
Covered Lanai	658 sq. ft.

TOTAL UNDER ROOF	4073 sq. ft.
Lanai/Pool	1371 sq. ft.

TOTAL AREA	5444 sq. ft.
------------	--------------

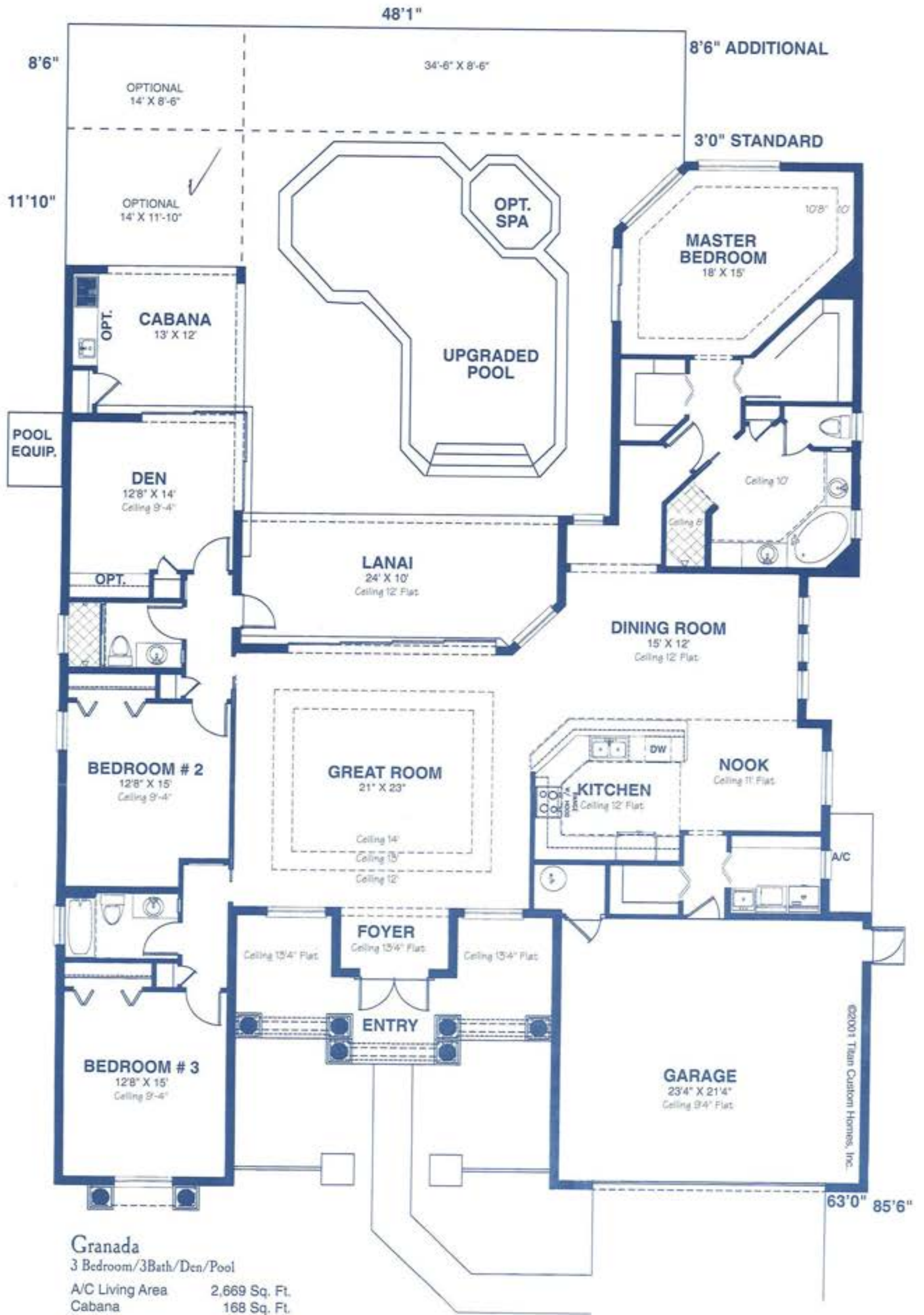
PRECISION FLOORPLANS, INC.  
239 - 598 - 9411

ALL INFORMATION IS DEEMED  
RELIABLE BUT NOT  
GUARANTEED



Living Area	2,621 SF
Open Porch	28 SF
Open Porch	392 SF
Open Lanai	713 SF
Garage	728 SF
<b>Total</b>	<b>4,482 SF</b>

*Note: All dimensions are from builder's blue prints, Collier County tax records & Appraiser - should be verified independently.*



**Granada**

3 Bedroom/3Bath/Den/Pool

A/C Living Area	2,669 Sq. Ft.
Cabana	168 Sq. Ft.
Garage	568 Sq. Ft.
Lanai	252 Sq. Ft.
Entry	201 Sq. Ft.
<b>TOTAL</b>	<b>3,858 Sq. Ft.</b>

## The Cadiz

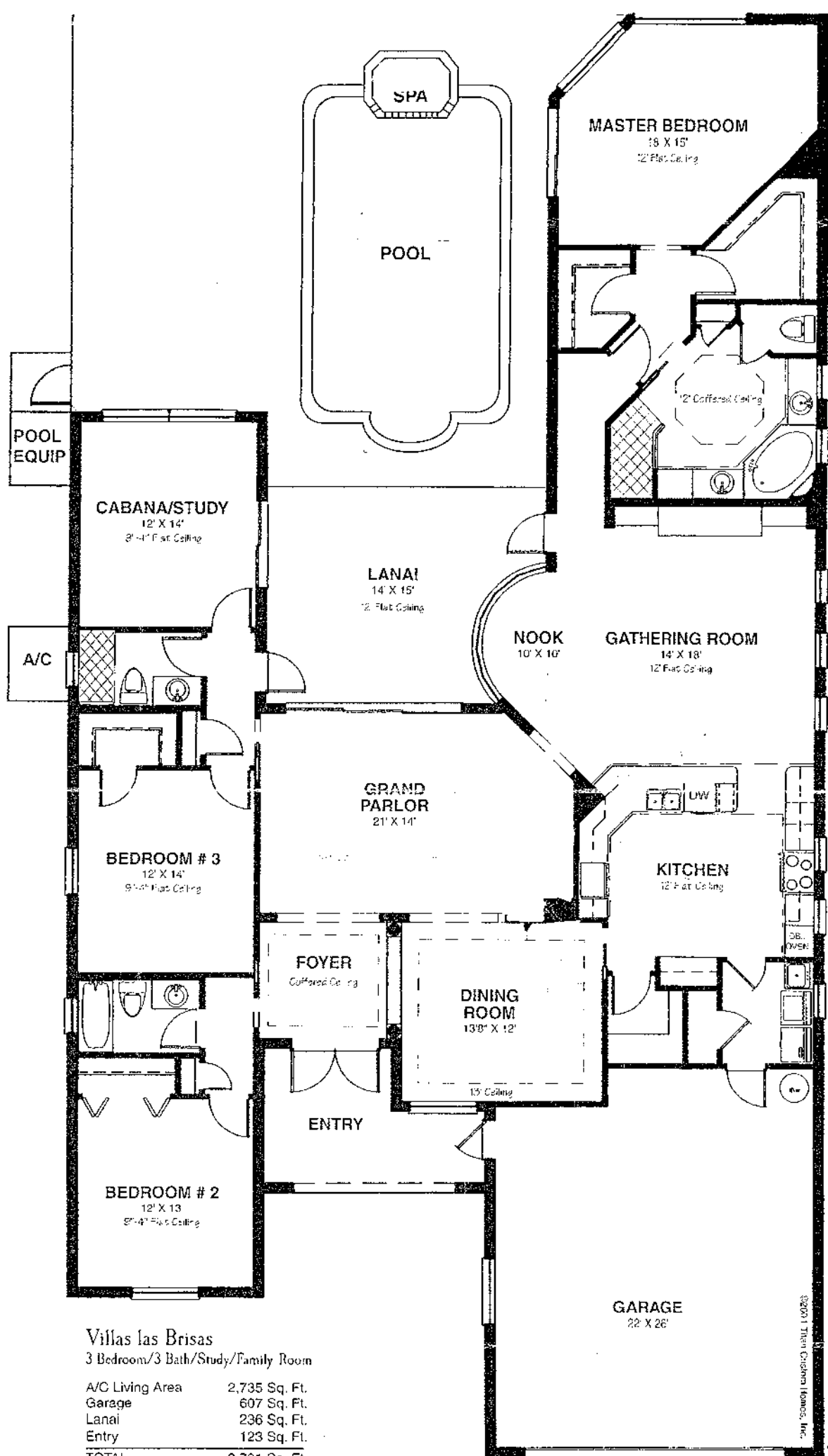
Living Area	2,418 sq.ft.
Cabana	292 sq.ft.
Covered Entry	152 sq.ft.
Covered Lanai	929 sq.ft.
Garage	441 sq.ft.
<b>Total</b>	<b>4,232 sq.ft.</b>

### Features

- Distinctive column entry with arched entry door lead into courtyard
- Dramatic 12' coffered ceiling detailed with crown molding in foyer
- Expansive use of glass opening to the pool area/courtyard
- Plant shelves spanning the living room and dining area
- Two full size walk-in closets in the master suite with wood shelving
- Custom kitchen with Granite counter tops
- Upgraded appliance package
- Side entry two car garage
- Utility room with built-in cabinets and utility sink
- Separate cabana/guest suite leading into courtyard
- Custom pool package included



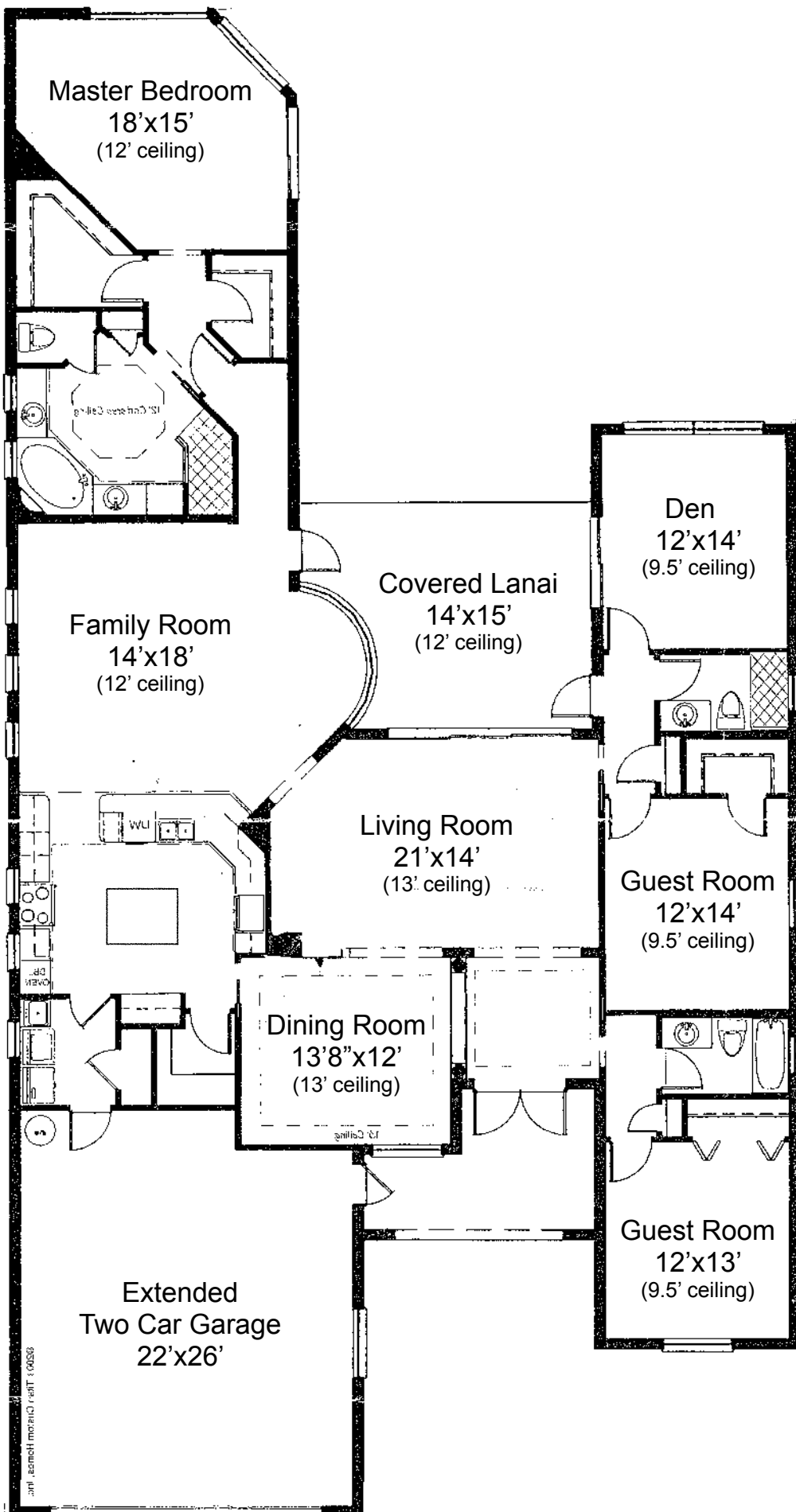
All dimensions and specifications are approximate and subject to change without notice.

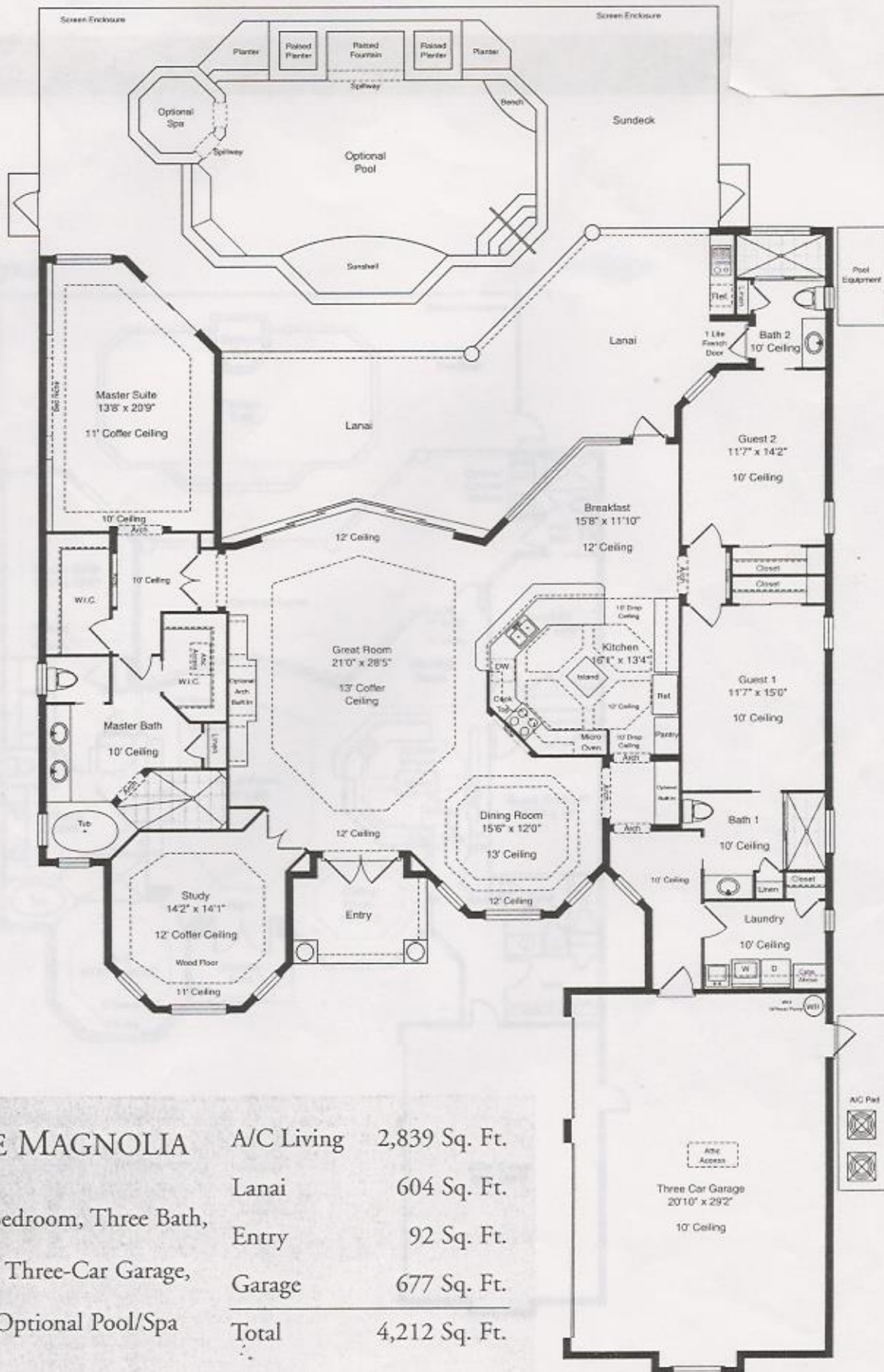


**Villas las Brisas**  
3 Bedroom/3 Bath/Study/Family Room

A/C Living Area	2,735 Sq. Ft.
Garage	607 Sq. Ft.
Lanai	236 Sq. Ft.
Entry	123 Sq. Ft.
<b>TOTAL</b>	<b>3,701 Sq. Ft.</b>







<b>THE MAGNOLIA</b> Three Bedroom, Three Bath, Study, Three-Car Garage, and Optional Pool/Spa	A/C Living	2,839 Sq. Ft.
	Lanai	604 Sq. Ft.
	Entry	92 Sq. Ft.
	Garage	677 Sq. Ft.
	<b>Total</b>	<b>4,212 Sq. Ft.</b>

5660 STRAND COURT

NAPLES, FLORIDA 34110

WWW.BUILTBYEMPIRE.COM

PHONE (239) 566-3204

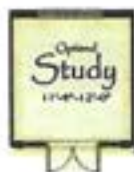
FAX (239) 566-2538

CGC 037380



DRUM

All dimensions and specifications are approximate and are subject to change without notice. All sketches are an artist concept.



OPTIONAL STUDY  
in lieu of Dining



OPTIONAL 4TH BEDROOM  
in lieu of Study

## JASMINE II

### SQUARE FOOTAGE CALCULATIONS

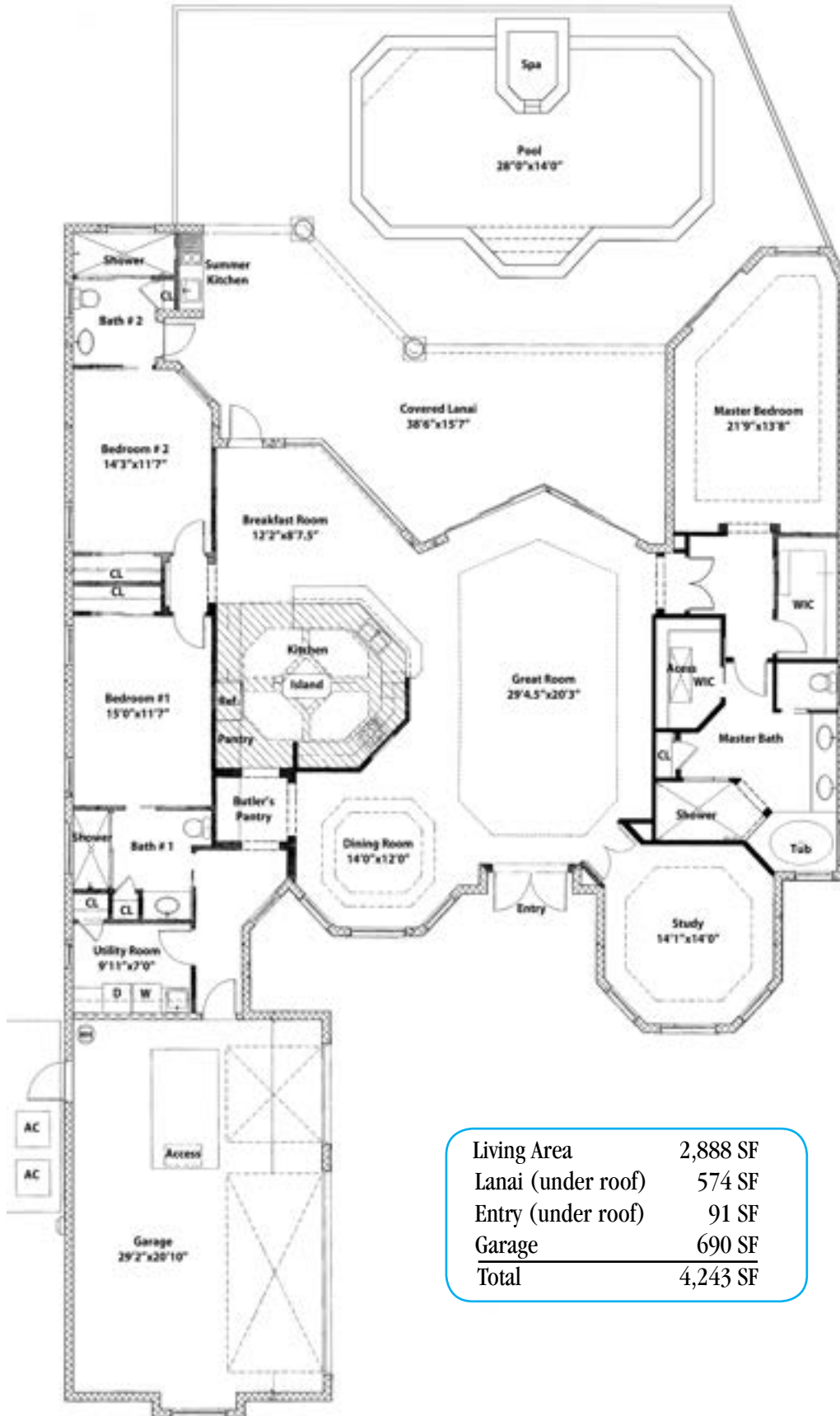
#### SQUARE FEET

Living Area	2,876 sq. ft.
Covered Lanai	406 sq. ft.
Entry	73 sq. ft.
Garage	803 sq. ft.
<b>TOTAL</b>	<b>4,158 sq. ft.</b>



Elevation B

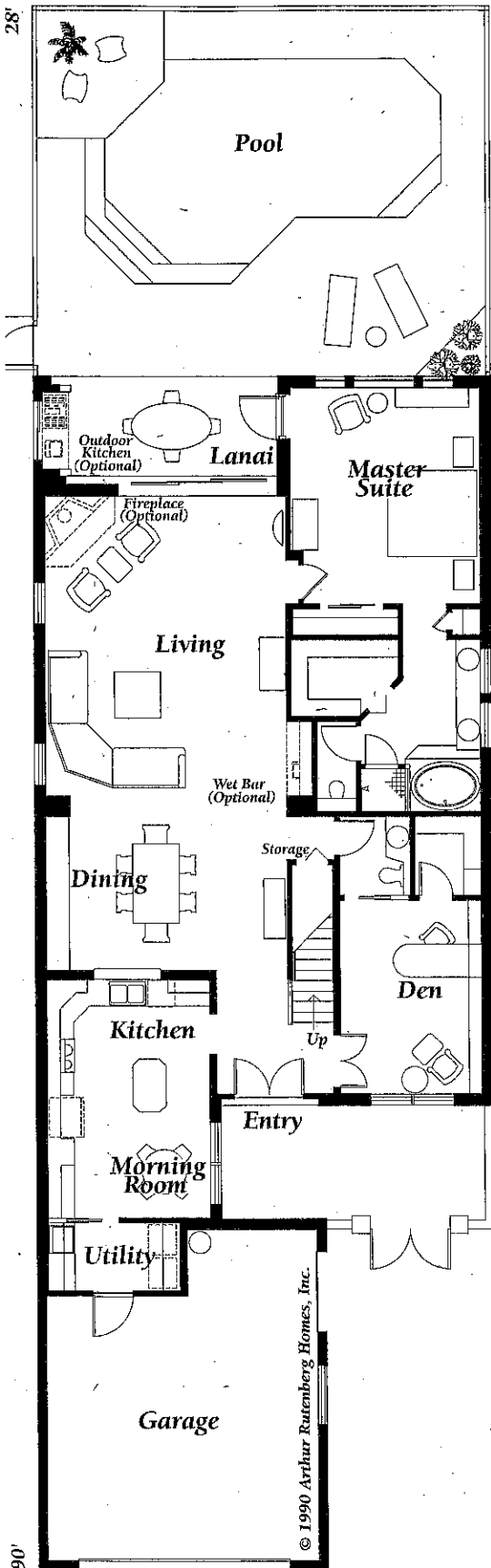
*These drawings are conceptual only and are for the convenience of reference. They should not be relied upon as representation, expressed or implied, of the final details of the residences. The developer expressly reserves the right to make modifications, revisions, and changes it deems desirable in its sole and absolute discretion. Dimensions and square footage are approximate and may vary with actual construction.*



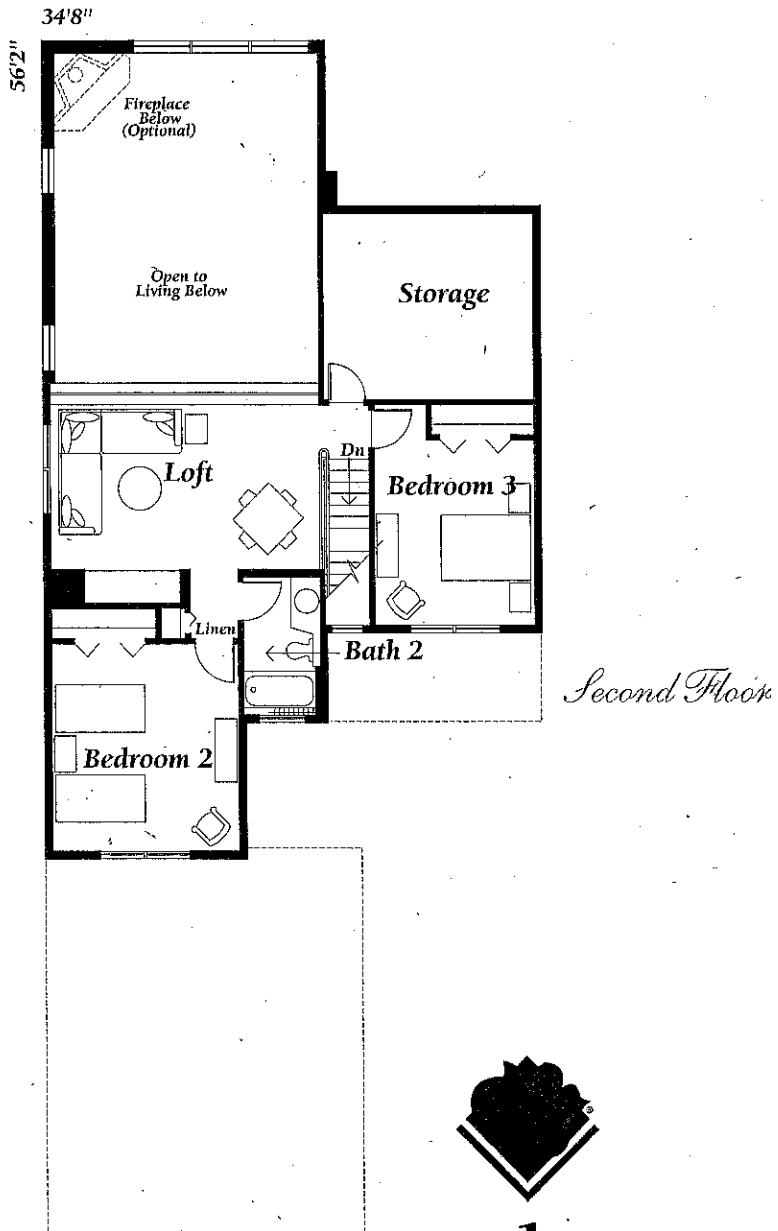
Living Area	2,888 SF
Lanai (under roof)	574 SF
Entry (under roof)	91 SF
Garage	690 SF
<b>Total</b>	<b>4,243 SF</b>

*Note: All dimensions are from builder's blue prints, Collier County tax records & Appraiser - should be verified independently.*

34'8" Pool Package "A" (Optional)



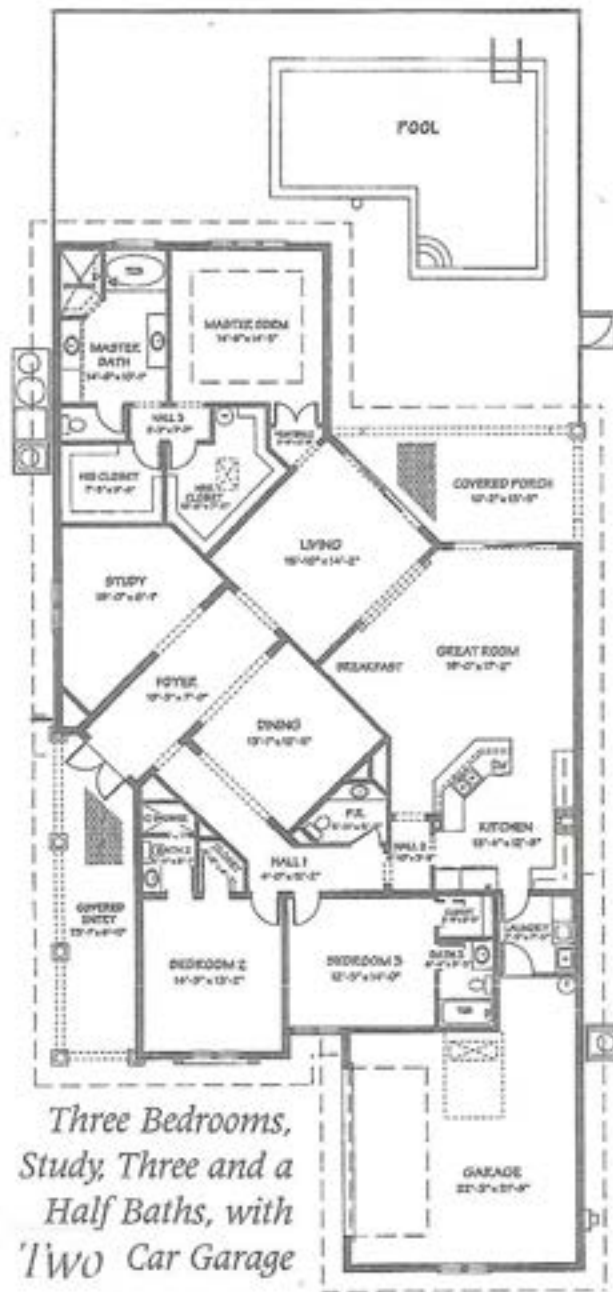
34'8" Furniture Plan



Arthur  
Rutenberg<sup>SM</sup>  
Homes

The Special Included Features are

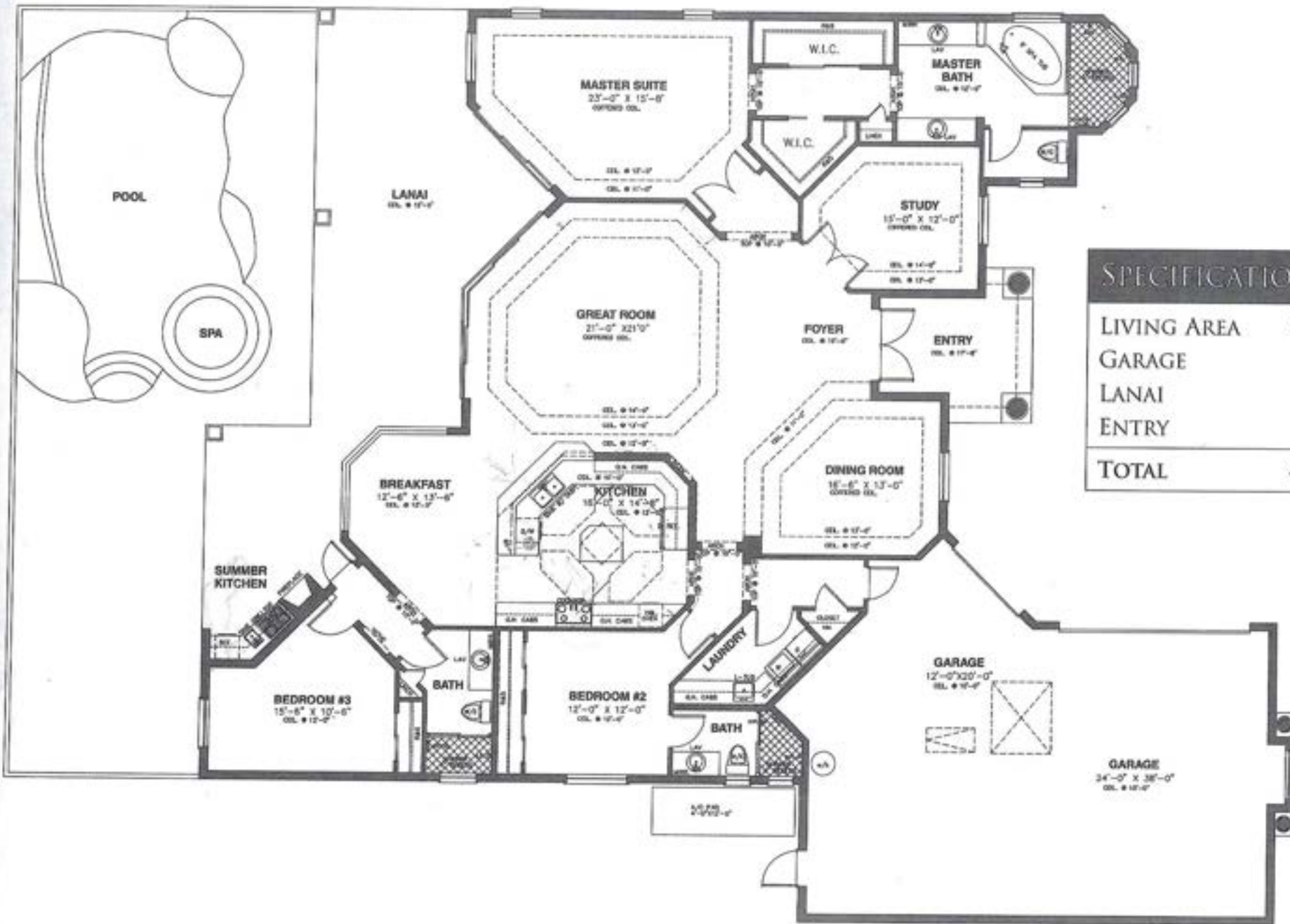
# Andora II



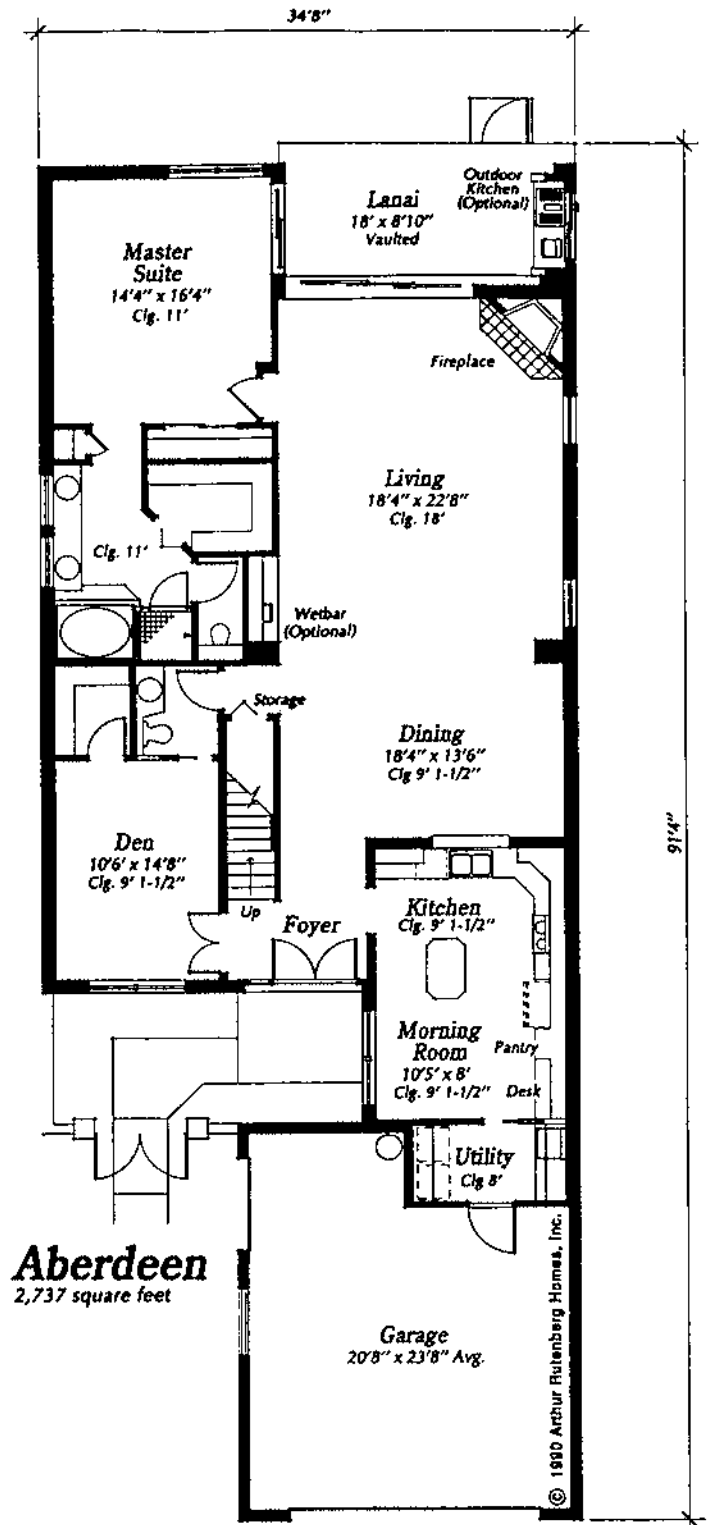
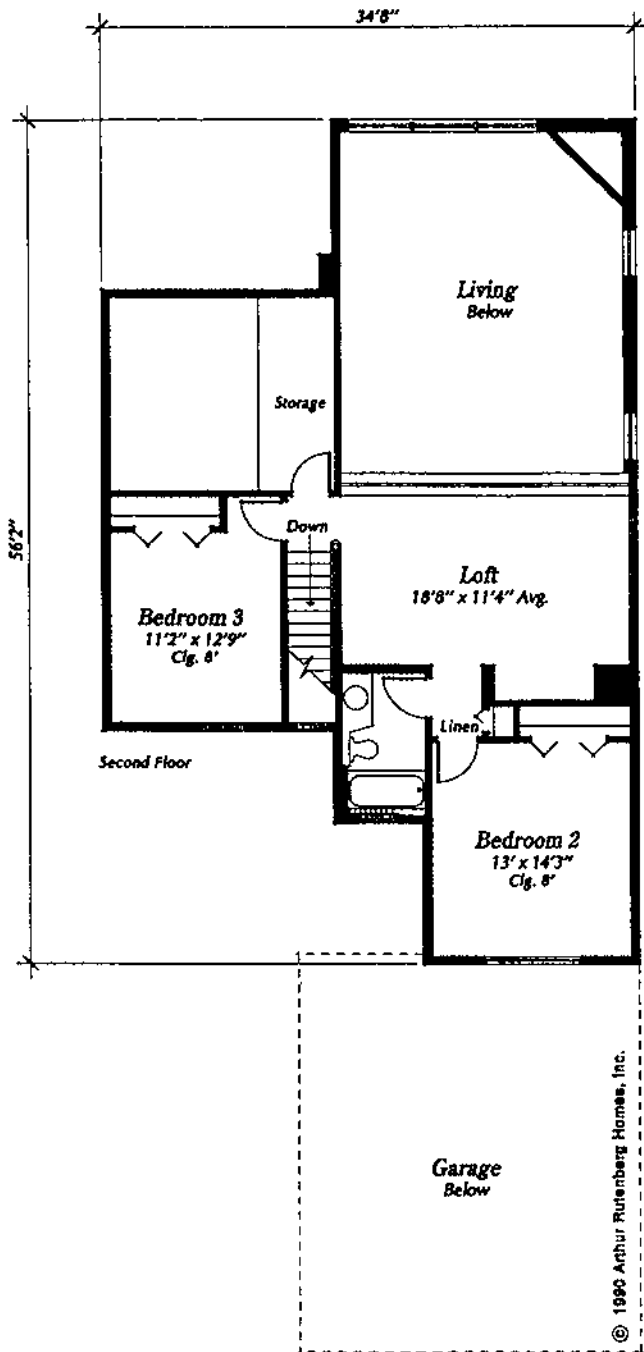
*Three Bedrooms,  
Study, Three and a  
Half Baths, with  
Two Car Garage*

## LIVING AREA

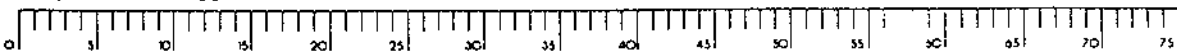
Under A/C .....	2,946 Sq. Ft.
Covered Entry .....	221 Sq. Ft.
Covered Porch .....	207 Sq. Ft.
Garage .....	428 Sq. Ft.
<b>TOTAL .....</b>	<b>3,944 Sq. Ft.</b>



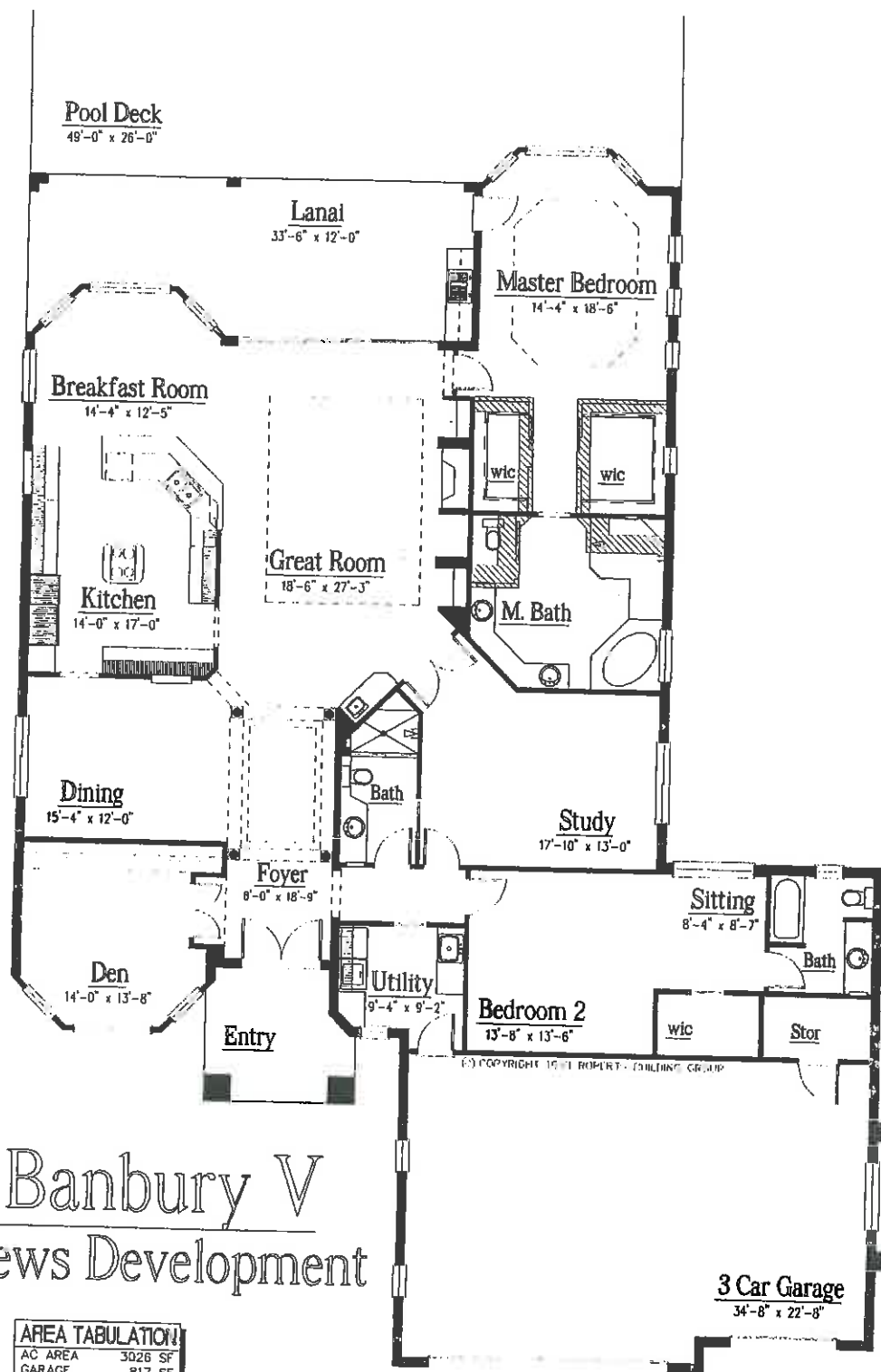
SPECIFICATIONS	
LIVING AREA	2,962
GARAGE	996
LANAI	708
ENTRY	103
<b>TOTAL</b>	<b>4,769</b>



Plans and specifications subject to change without notice. Certain items such as the pool, fireplace or roof tile shown may be optional. Reference should be made to the applicable specifications.



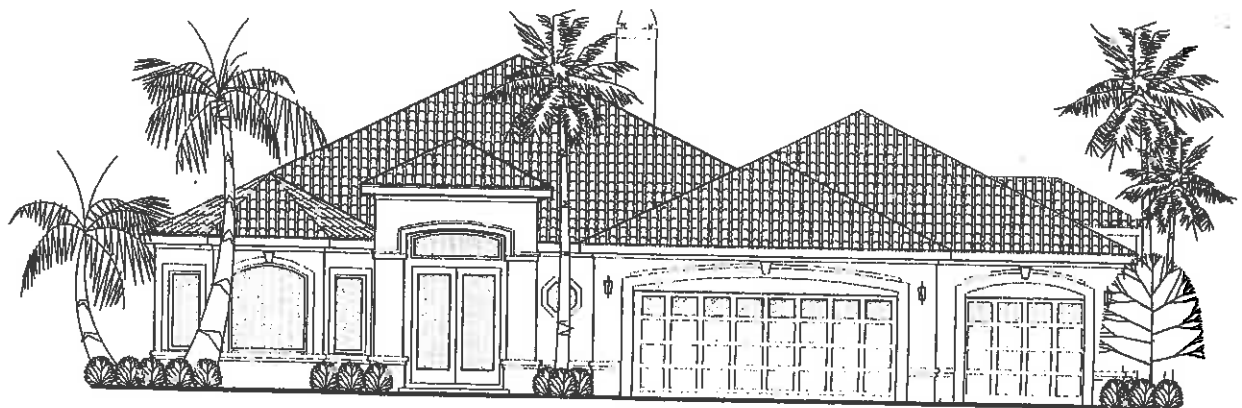


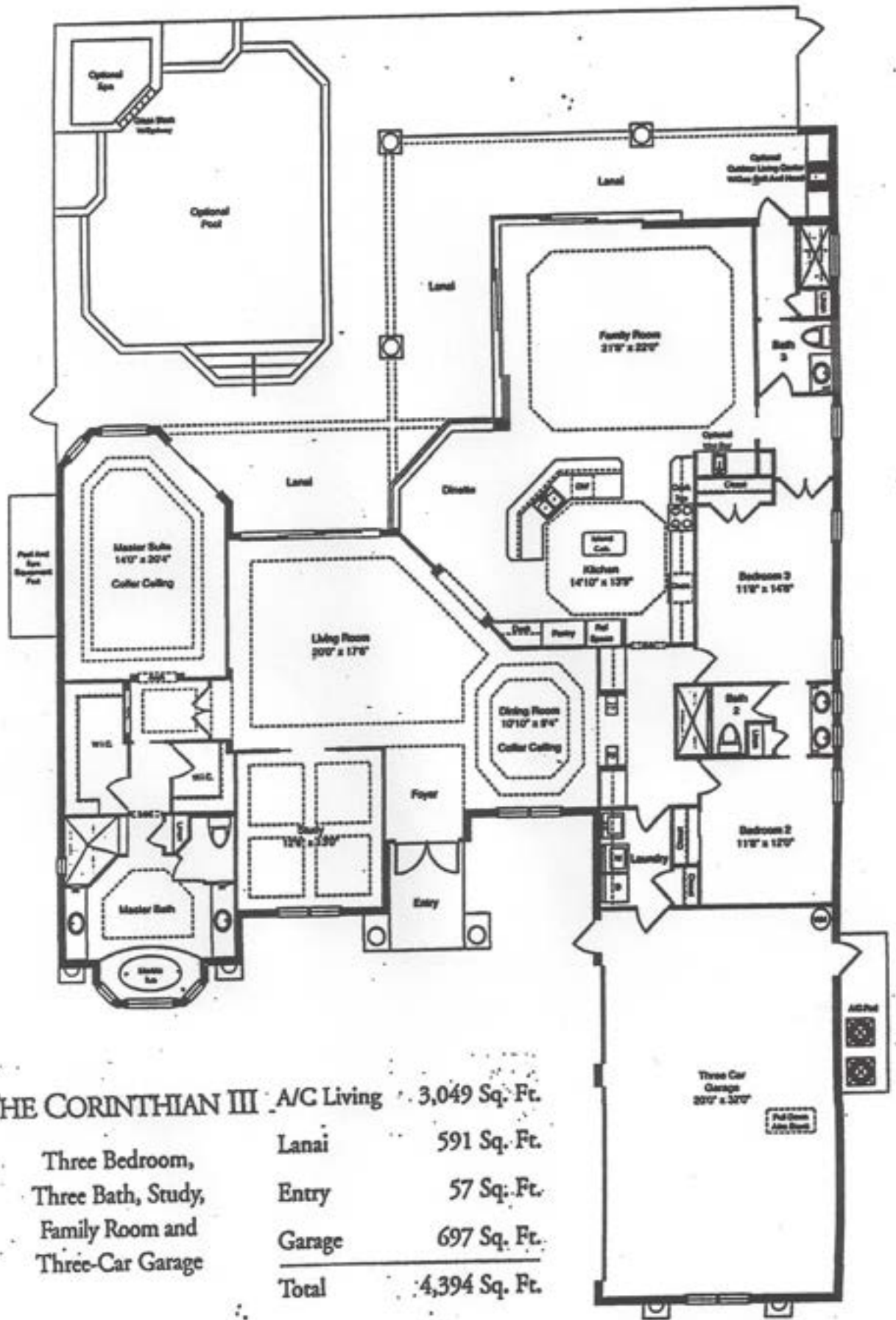


# The Banbury V

## St Andrews Development

AREA TABULATION	
AC AREA	3026 SF
GARAGE	817 SF
ENTRY	104 SF
LANAI	362 SF
TOTAL	4039 SF





<b>THE CORINTHIAN III</b>	A/C Living	3,049 Sq. Ft.
Three Bedroom,	Lanai	591 Sq. Ft.
Three Bath, Study,	Entry	57 Sq. Ft.
Family Room and	Garage	697 Sq. Ft.
Three-Car Garage	<b>Total</b>	<b>4,394 Sq. Ft.</b>

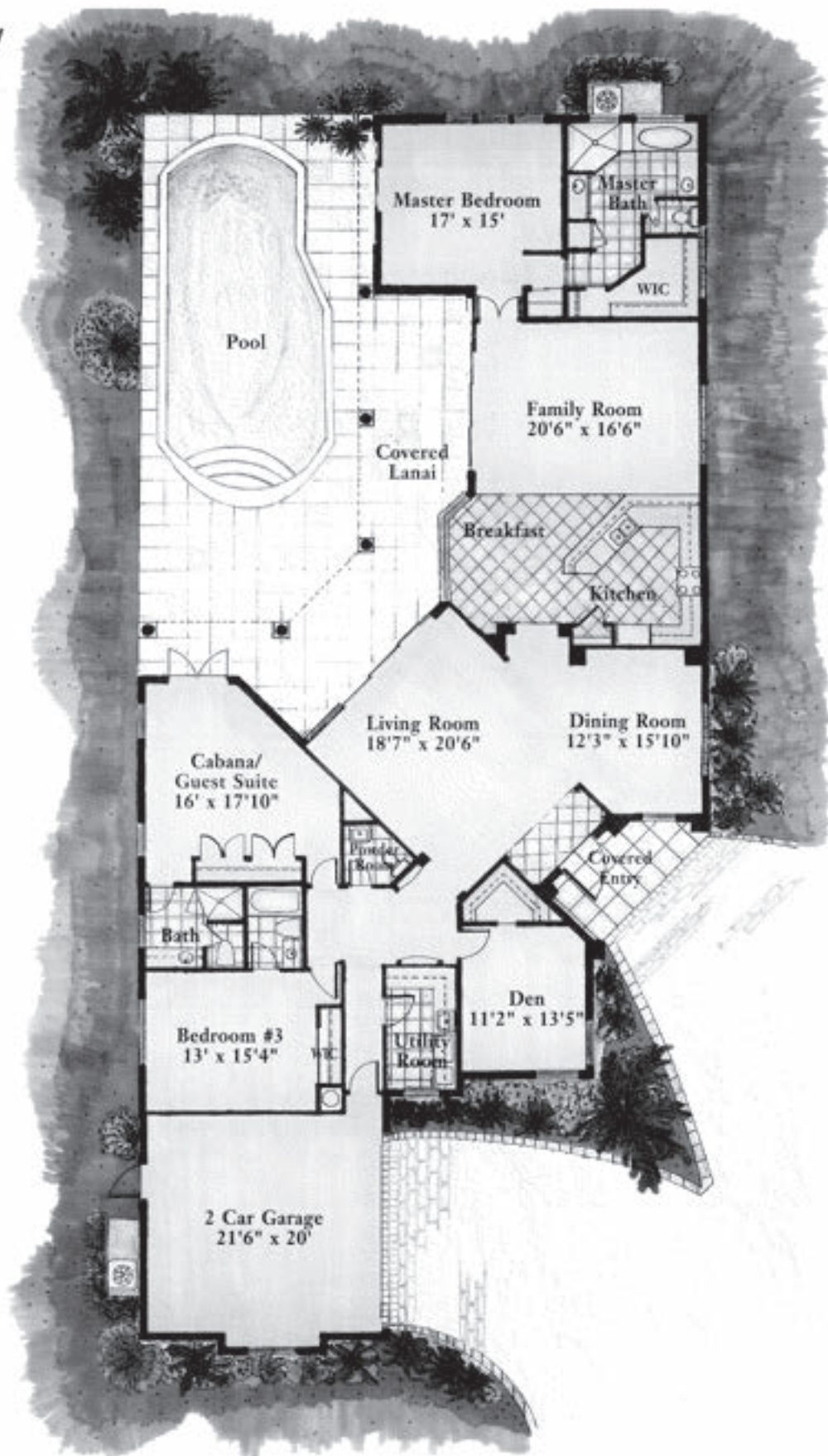


# The Valencia II

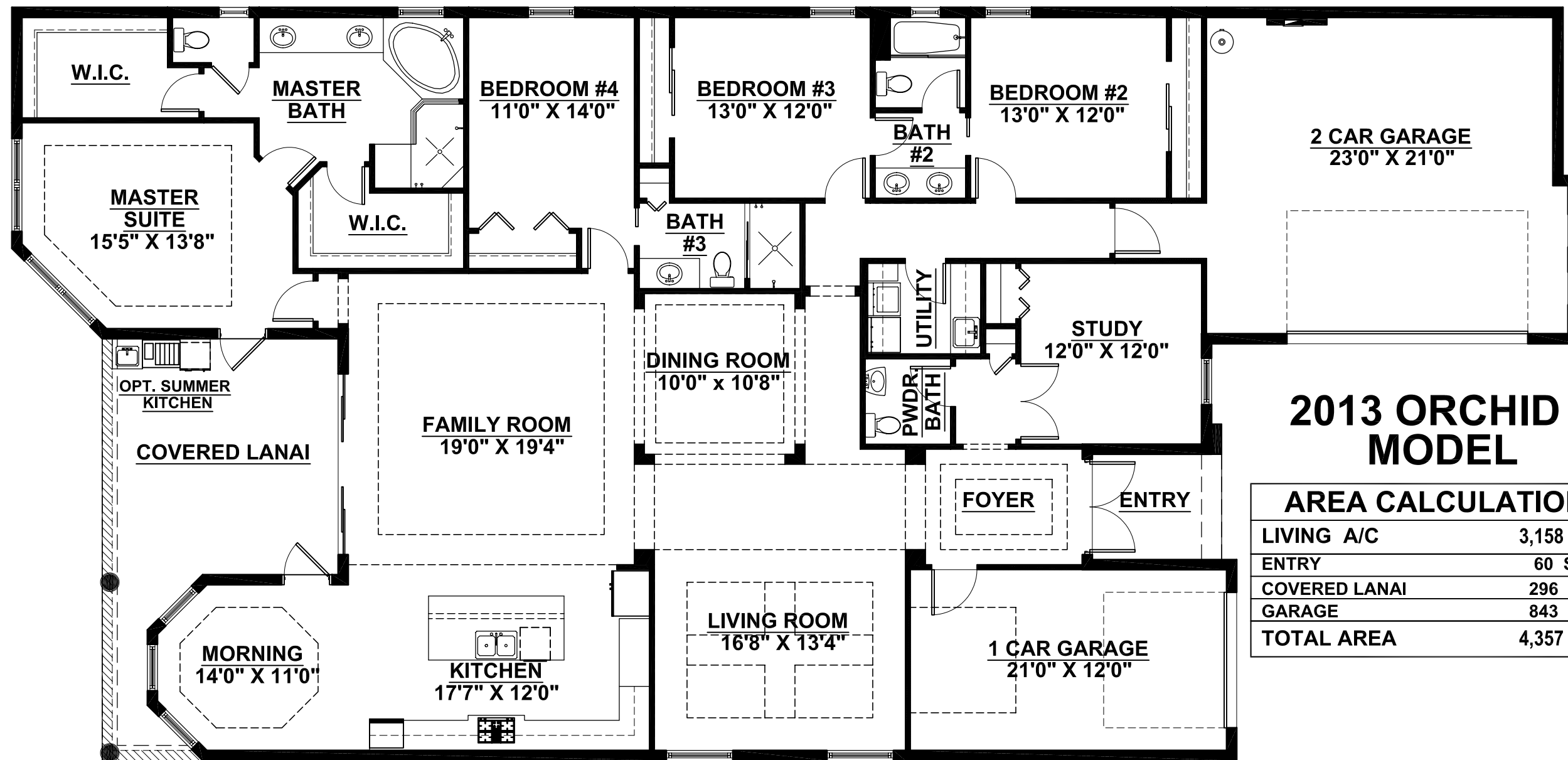
Living Area	3,050 sq.ft.
Covered Entry	148 sq.ft.
Covered Lanai	500 sq.ft.
Garage	437 sq.ft.
<b>Total</b>	<b>4,135 sq.ft.</b>

## Features

- Dramatic covered entry and foyer
- Elegant entry door with distinctive column features
- Custom kitchen cabinetry and pantry with Corian tops overlooking the terrace and pool area
- Comparative white on white appliance package
- Fixed glass overlooking courtyard in morning room
- Second bedroom with private bath
- Powder room adjacent to living room
- Master suite with walk-in closet with double shelving
- His and her master bath vanities
- Full sized utility room with built-in cabinetry, sink and natural light
- Cabana guest suite with private entry off pool area, private bath and walk-in closet
- Side entry two car garage
- Custom pool package included



  
**Terramar**  
*at Olde Cypress*



## 2013 ORCHID II MODEL

### AREA CALCULATIONS

LIVING A/C	3,158 SQ.FT.
ENTRY	60 SQ.FT.
COVERED LANAI	296 SQ.FT.
GARAGE	843 SQ.FT.
<b>TOTAL AREA</b>	<b>4,357 SQ.FT.</b>

WELCOME TO THE

# St. Lucia



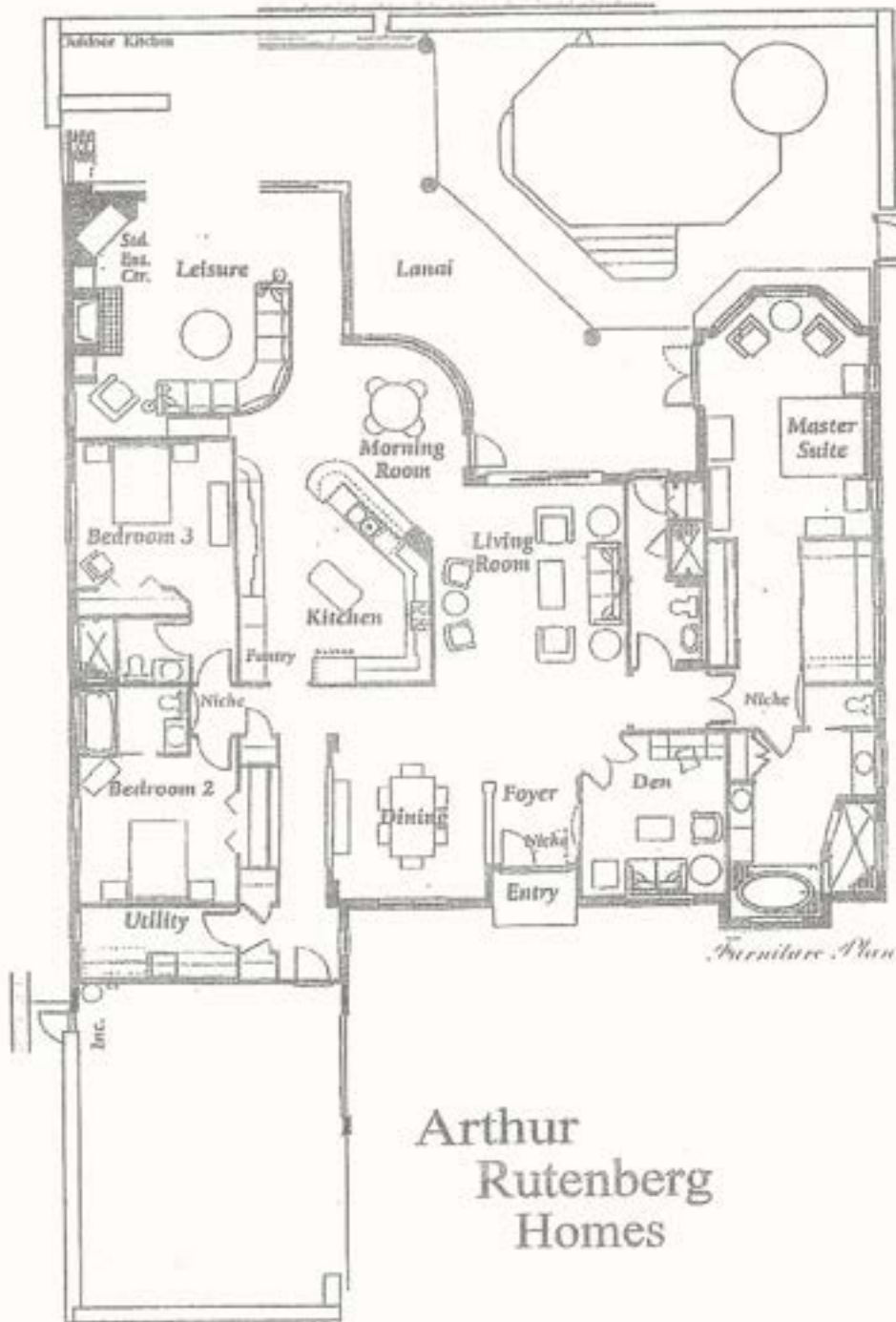
## 3 Bedrooms, 4 Baths, Den, 3-car Garage

Dramatic use of glass and high ceilings are the hallmarks of this design, giving it a spacious, airy feeling. A curved "seamless" glass window wall and cornerless pocketed sliding glass doors bring the outdoors in, making the lanai and optional pool an integral part of the home.

Starting price:  
\$455,100 + homesite



**OLDE CYPRESS:** 2766 Olde Cypress Drive



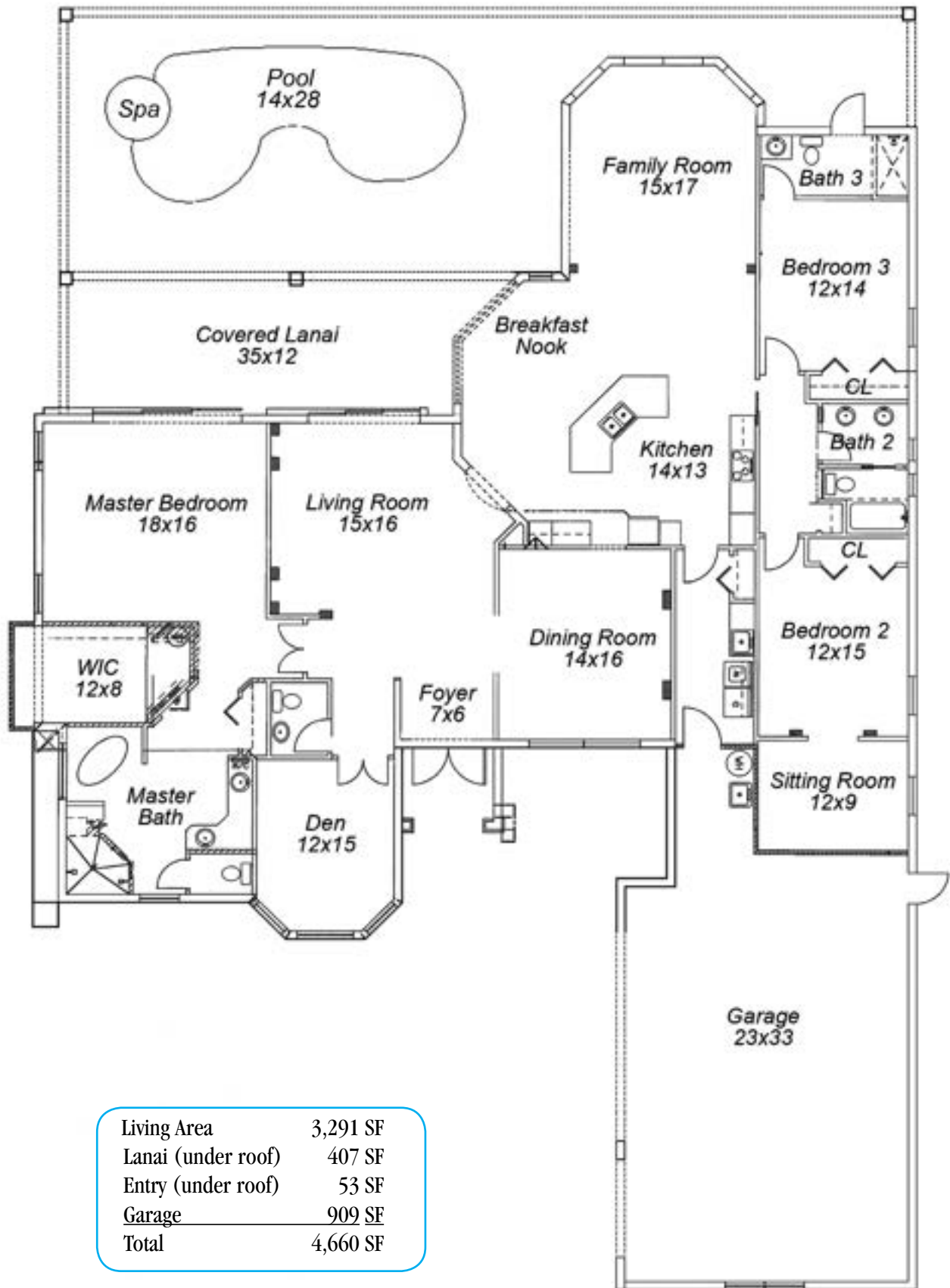
Living Room:	17x15
Leisure Room:	21x20
Dining Room:	14x12
Kitchen:	15x14
Morning Room:	11x11
Master Suite:	20x13
Bedroom 2:	13x12
Bedroom 3:	13x12
Den:	13x11

A/C Living Area:	3,289sf
Lanai:	2,100sf
Garage:	668sf
Entry:	30sf

Total Area: 6,087sf

Arthur  
Rutenberg  
Homes

Year Built: 2001



Living Area	3,291 SF
Lanai (under roof)	407 SF
Entry (under roof)	53 SF
Garage	909 SF
<b>Total</b>	<b>4,660 SF</b>

*Note: All dimensions are from tax records & builder blue prints - should be verified independently.*





## THE CALAIS



*The Calais is a home for all occasions and architecturally rich in detail. The superb design begins at the foyer and immediately draws guests into the heart of the home, where a two-sided fireplace warms both the living room and morning room. Nestled next to the gourmet kitchen, the morning room offers panoramic views of the outdoors through a wall of mitered glass. The kitchen island welcomes family members to take casual meals at its built-in bar, with easy cleanup at the island sink. Other appealing kitchen features include a walk-in pantry and granite-top pass-through to the dining room. The Calais' expansive leisure room is ideal for entertaining, with a sliding glass door to the pool and raised spa. Outdoor entertaining is convenient with a full kitchen on an ample covered lanai surrounding the pool area. Privately situated on the other side of the Calais is a sumptuous master suite, which includes a foyer and sitting area. Whether enjoying intimate evenings or celebrating a special occasion, the Calais makes every moment memorable.*

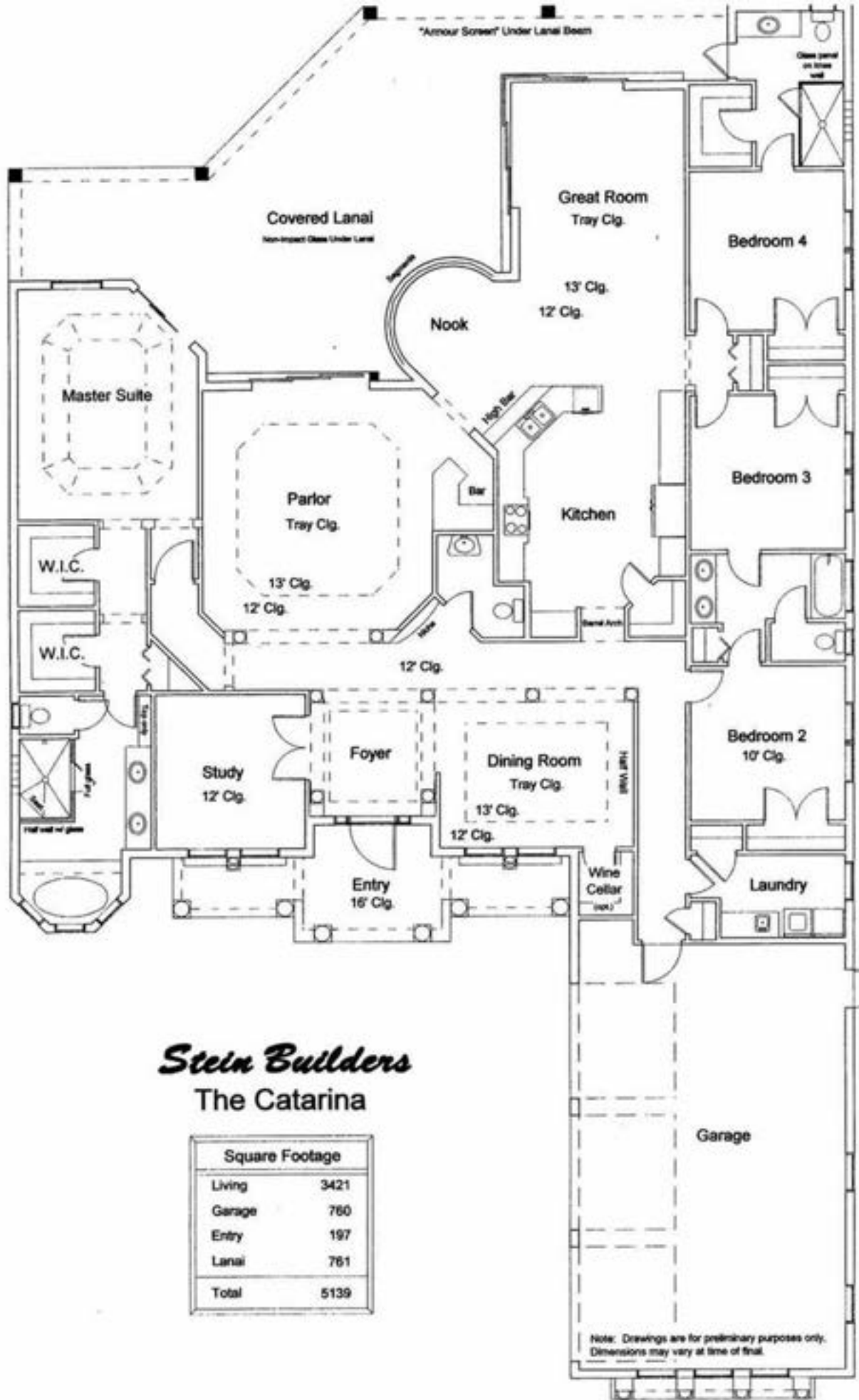


Living Area	3,404 Sq. Ft.
Lanai	630 Sq. Ft.
Entry	120 Sq. Ft.
Garage	742 Sq. Ft.
Total	4,896 Sq. Ft.

**4 BEDROOMS, 4 BATHS, DEN,  
LEISURE ROOM, SCREENED  
LANAI WITH OUTDOOR  
KITCHEN, AND THREE  
CAR GARAGE**

ORAL REPRESENTATIONS CANNOT BE RELIED UPON AS CORRECTLY STATING REPRESENTATIONS OF THE DEVELOPER. FOR CORRECT REPRESENTATIONS, MAKE REFERENCE TO THIS BROCHURE AND TO THE DOCUMENTS REQUIRED BY SECTION 718.503, FLORIDA STATUTES, TO BE FURNISHED BY A DEVELOPER TO A BUYER OR LESSEE.

*Dimensions shown herein are approximate. Developer maintains a continuous design program and developer therefore reserves the right to modify these plans.*



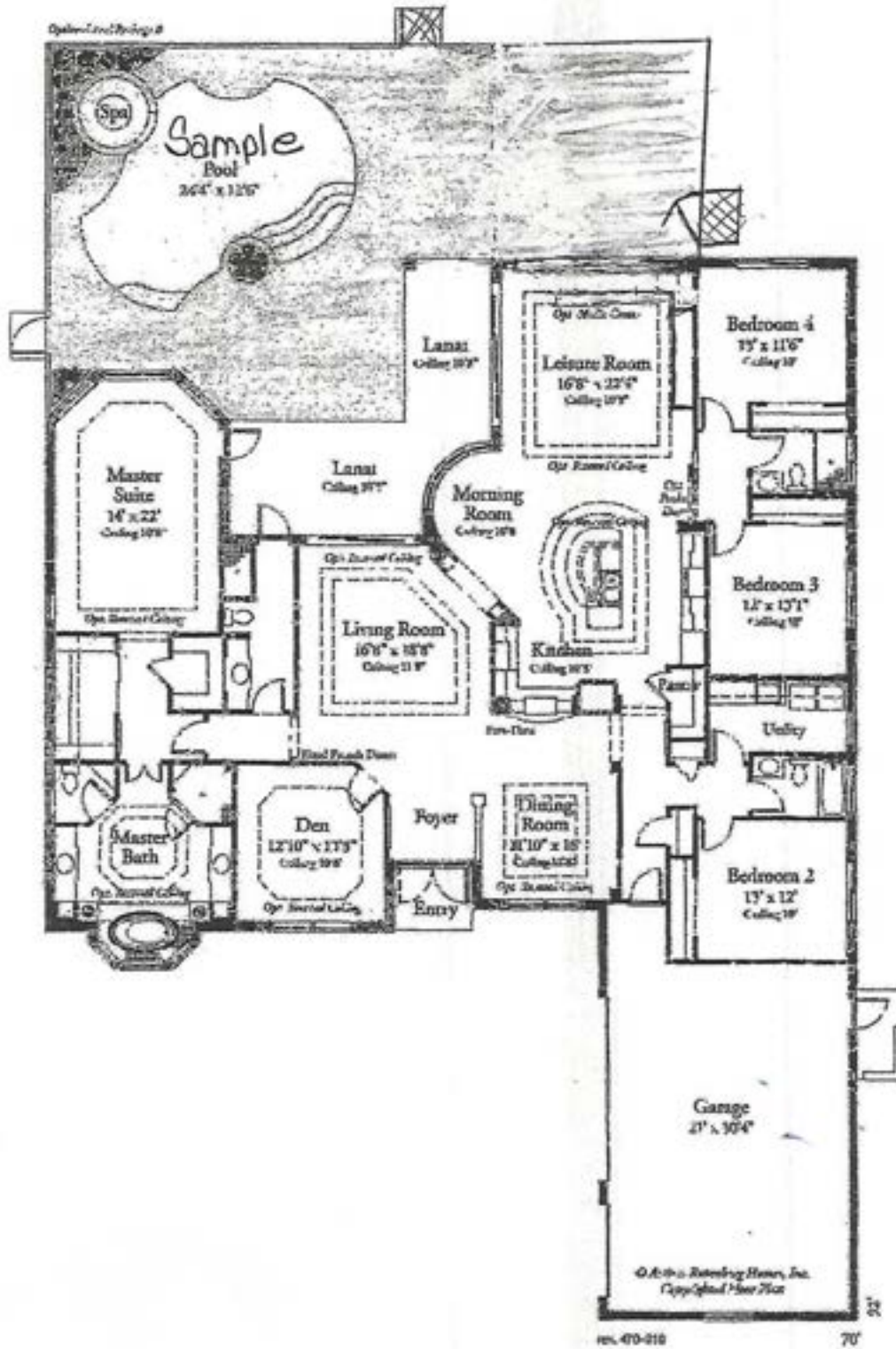
***Stein Builders***  
**The Catarina**

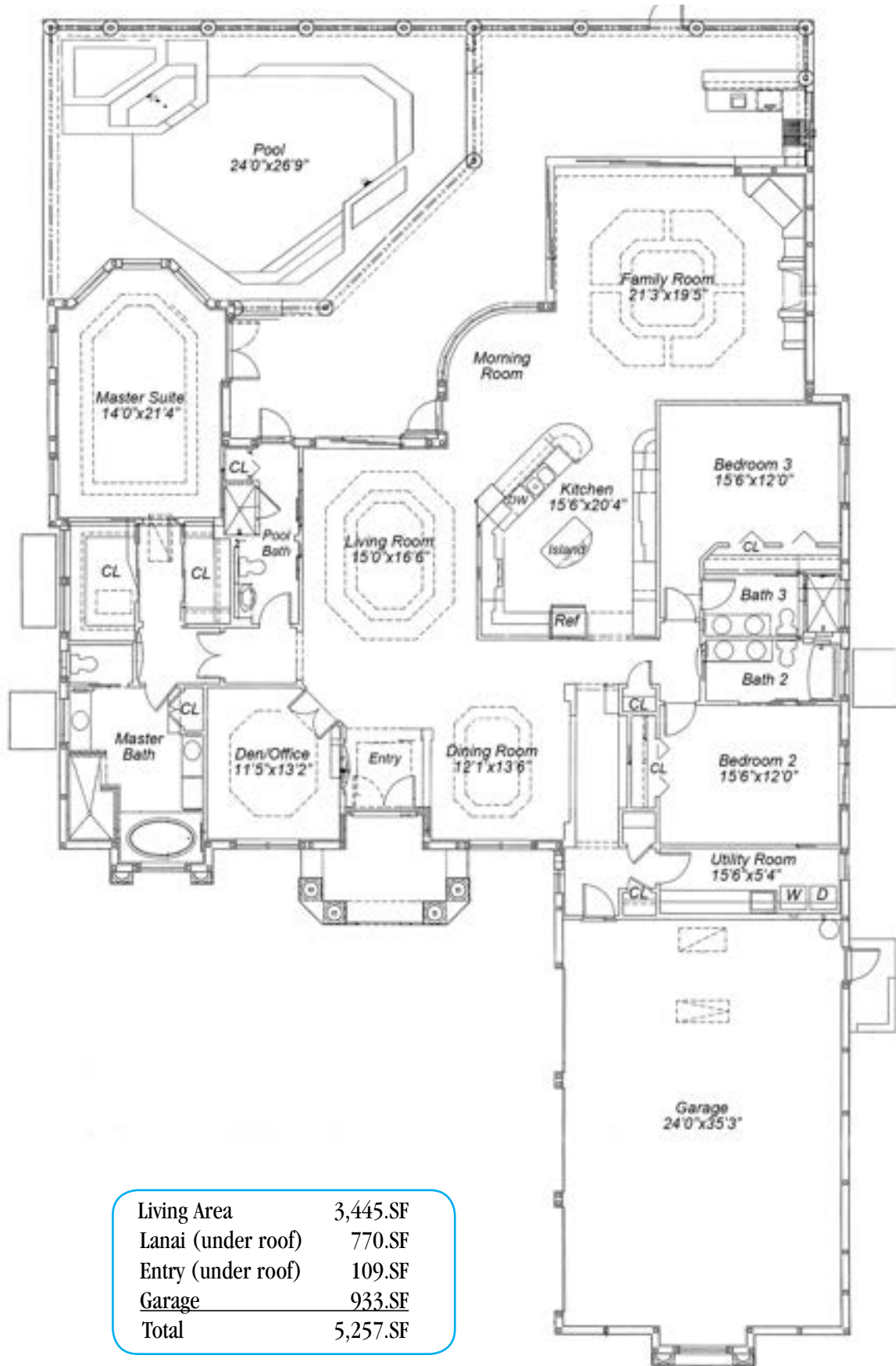
Square Footage	
Living	3421
Garage	760
Entry	197
Lanai	761
<b>Total</b>	<b>5139</b>

Note: Drawings are for preliminary purposes only. Dimensions may vary at time of final.

# Calais

4 BEDROOMS / 4 BATHS / DEN / 3,431 SQ FT





Living Area	3,445.SF
Lanai (under roof)	770.SF
Entry (under roof)	109.SF
<u>Garage</u>	<u>933.SF</u>
<b>Total</b>	<b>5,257.SF</b>

*Note: All dimensions are from tax records & builder blue prints - should be verified independently.*

**THE OWNER AND/OR CONTRACTOR:**  
 SHALL BE TOTALLY RESPONSIBLE FOR THE CONSTRUCTION PHASE OF THIS PROJECT AND SHALL BE REQUIRED TO STRICTLY FOLLOW THE LOCAL BUILDING CODES AND ORDINANCES. THE ARCHITECTURAL DRAWINGS INCLUDED HEREIN REPRESENT THE DESIGN INTENT ONLY OF THE FLOOR PLANNING (TO INCLUDE THE CEILING PLANE) AND THE EXTERIOR DESIGN.

CERTAIN SECTIONS AND/OR DETAILS WITHIN THE DRAWINGS ARE INCLUDED TO SHOW GENERAL CONSTRUCTION ASSEMBLY OF BUILDING COMPONENTS AND TO EMPHASIZE CODE WORTHY ITEMS, BUT BY NO MEANS, REPRESENT ALL REQUIRED CONSTRUCTION FRAMING TECHNIQUES, OR DETAILING NECESSARY FOR THE COMPLETION OF THIS PROJECT. THE OWNER/CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ALL CONSTRUCTION ASSEMBLY PRACTICES, MATERIAL INTERFACING, AND DETAILING NOT OTHERWISE SHOWN ON THE DRAWINGS, TO INCLUDE, BUT NOT LIMITED TO THE FOLLOWING: FOUNDATION AND EXTERIOR WALL DESIGN, WATER PROOFING OF THE EXTERIOR ENVELOPE (WALLS, WINDOW/DOOR OPENINGS, AND ROOF), AND INTERIOR MATERIAL APPLICATIONS.

THE ELECTRICAL PLAN(S) ARE INCLUDED HEREIN TO BE USED AS A GUIDE FOR PLACEMENT OF ELECTRICAL APPARATUS ONLY (I.E. LIGHT FIXTURES, SWITCHES, DETECTORS, OUTLETS, PANELS, ETC.) AND DO NOT NECESSARILY REFLECT A KNOWLEDGE OF THE REQUIRED CIRCUITRY, INSTALLATION PRACTICES OR ELECTRICAL CODE REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THE ELECTRICAL POWER DISTRIBUTION AND LIGHTING DESIGN MEETS ALL APPLICABLE CODES.

DOOR SCHEDULE					
NO.	SIZE	TYPE	MATL.	STYLE	REMARKS
1	2-3080	EXTERIOR	TBD	FRENCH	
2	2-40100		ALUM./GLS.	SL. GLS. DRS.	
3	3-40100		ALUM./GLS.	SL. GLS. DRS.	
4	2880		METAL	FRENCH	
5	2880		METAL	PANEL	
6	16'X8'		METAL	T.B.D.	O.H. GAR. DOOR SEE ELEVATION
7	8'X8'	EXTERIOR	METAL	T.B.D.	O.H. GAR. DOOR SEE ELEVATION
8	2880	INTERIOR	TBD	PANEL	FIRE RATED
9	2880			PANEL	
10	2880			PANEL	POCKET
11	3080			PANEL	
12	2080			PANEL	
13	2-3080			PANEL B.F.	
14	2-2080			PANEL B.F.	
15	2680			PANEL	
16	2-2680	INTERIOR	T.B.D.	PANEL	

\* NOTE VERIFY OPENING SIZES WITH DOOR MANUFACTURER PRIOR TO CONSTRUCTION

WINDOW SCHEDULE					
NO.	OPENING SIZE	TYPE	STYLE	REMARKS	
A	72"X36"	FIXED	CIRCLE TOP	BOT @ 8'-8"	
B		CW26	CASEMENT		
C	57"X28 1/2"	FIXED	CIRCLE TOP	BOT @ 8'-0"	
D		CW14	CASEMENT	TOP @ 6'-10"	
E	28 7/8"X14 7/16"	FIXED	CIRCLE TOP	BOT @ 6'-10"	
F		C12	CASEMENT	TOP @ 7'-0"	
G	24 5/8"X 12 5/16"	FIXED	CIRCLE TOP	BOT @ 5'-0"	
H		CW14	CASEMENT	TOP @ 6'-5 3/4"	
I	36 1/2"X18 1/4"	FIXED	CIRCLE TOP	BOT @ 6'-5 3/4"	
J	38" X 16" W/ 7 3/4"	FIXED	TRANSOM ELLIPSE TOP	BOT @ 5'-0"	
K		CR255	CASEMENT		
L	34 1/4"X17 1/8"	FIXED	TRANSOM	BOT @ 8'-0"	
M	FIELD VERIFY X 96"	FIXED	MITERED GLS	TOP @ 10'-0" 24" A.F.F.	
N		CW26	CASEMENT		
O	57"X24"	FIXED	TRANSOM	BOT @ 5'-0"	
P		CW15	CASEMENT		
Q	28 7/8"X24"	FIXED	TRANSOM	BOT @ 8'-0"	
R	48"X24"	FIXED	TRANSOM	TOP @ 8'-0"	
S		C135	CASEMENT		
T		CW16	CASEMENT		
U		C26	CASEMENT		
V		CTC2	CIRCLE TOP	BOT @ 8'-0"	

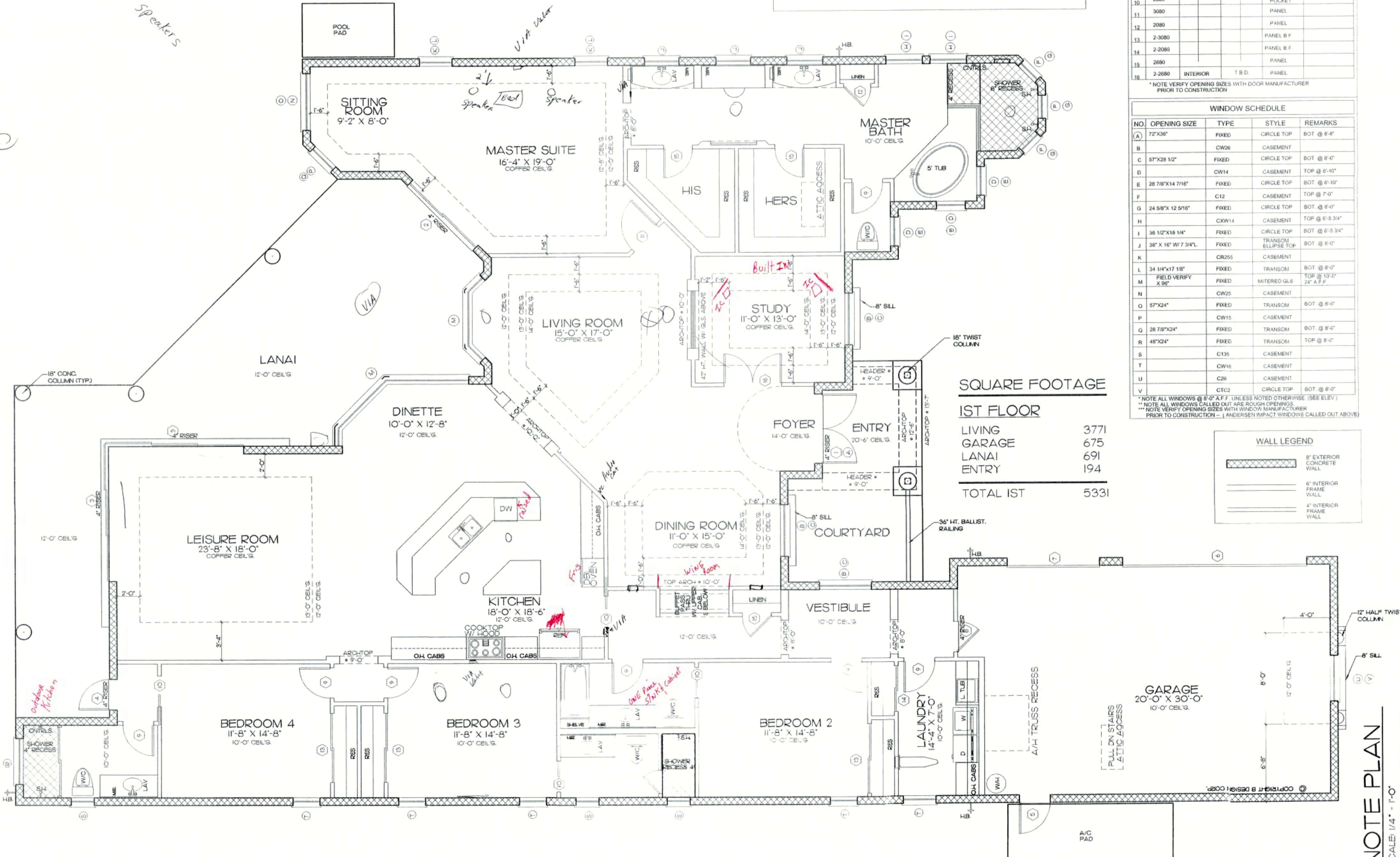
\* NOTE ALL WINDOWS @ 8'-0" A.F.F. UNLESS NOTED OTHERWISE (SEE ELEV.)  
 \*\* NOTE ALL WINDOWS CALLED OUT ARE ROUGH OPENINGS  
 \*\*\* NOTE VERIFY OPENING SIZES WITH WINDOW MANUFACTURER PRIOR TO CONSTRUCTION - (ANDERSEN IMPACT WINDOWS CALLED OUT ABOVE)

**SQUARE FOOTAGE**

LIVING	371
GARAGE	675
LANAI	691
ENTRY	194
<b>TOTAL 1ST</b>	<b>5331</b>

**WALL LEGEND**

	8" EXTERIOR CONCRETE WALL
	6" INTERIOR FRAME WALL
	4" INTERIOR FRAME WALL



**NOTE PLAN**  
 SCALE: 1/4" = 1'-0"  
 DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. DO NOT SCALE DIMENSIONS OF INTERIOR WALLS TO MATCH UP OR CONSTRUCTION. SUPERSEDES ALL PREVIOUS WORK.

DATE: 3/23/05  
 PROJECT #: 05/010  
 DRAWN BY: M.E.  
 CHECKED BY:  
 FILENAME:  
 REVISIONS:

**COPY**  
 SHEET #:  
 A-3

**KANDILIS**  
 Residence  
 Empire Builders Inc.  
 (941) 566-3204  
 Naples, Florida

ARCHITECT #AR0017545  
 DBPR #AA0003308  
 N.C.A.R.B.  
 The National Council of Architectural Registration Boards

**DESIGN CORP.**  
 Architects, Designers, & Planners  
 2051 Trade Center, W. 36468 Emerald Coast Pkwy.  
 Naples, Florida 34109  
 (239) 592-0221 (850) 650-8221

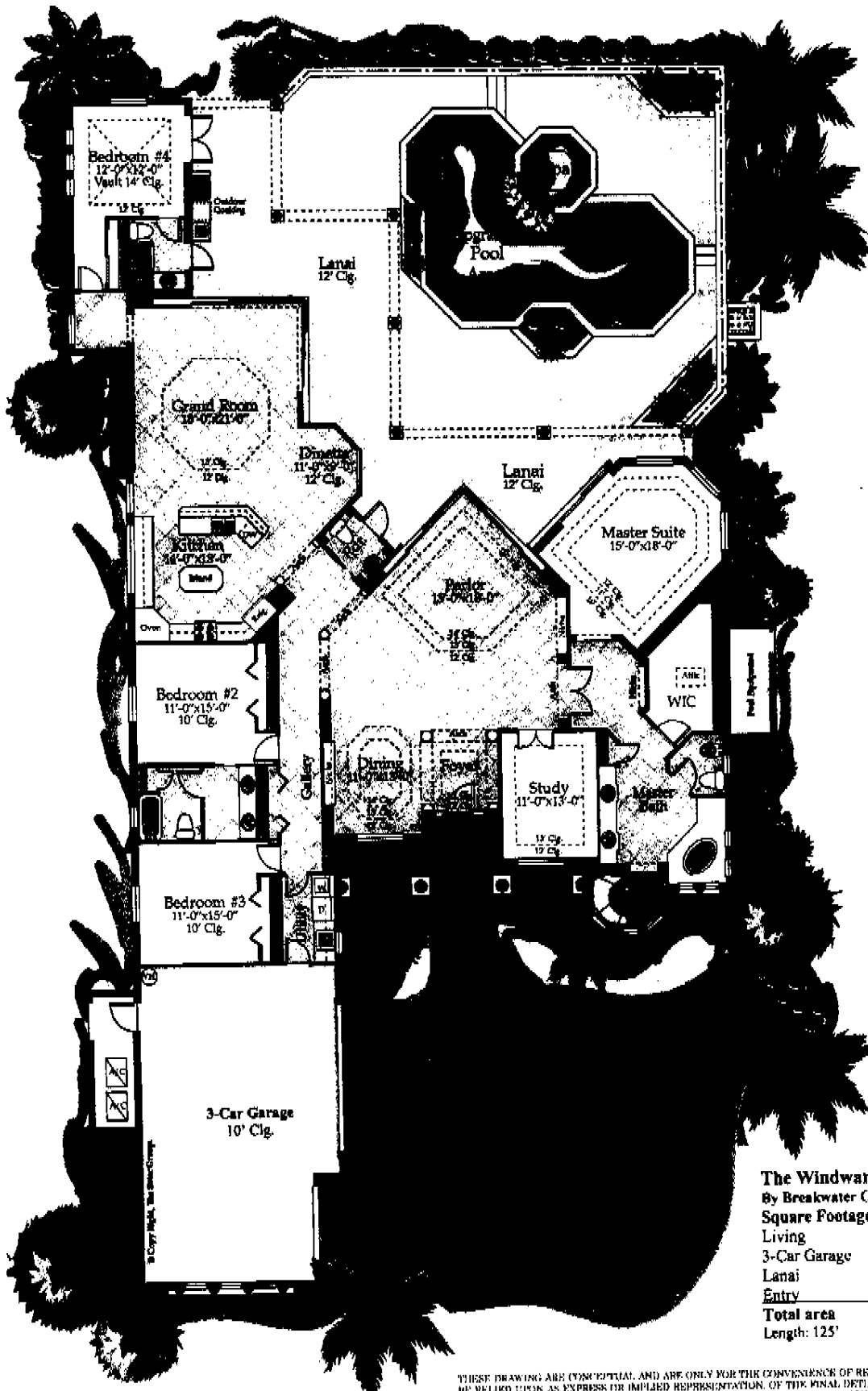


THE OWNER OR CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE CONSTRUCTION PHASE OF THIS PROJECT AND STRICTLY FOLLOW THE LOCAL BUILDING CODES AND ORDINANCES. THEY SHALL ALSO NOTIFY THE ARCHITECT IN WRITING FOR ANY DESIGN CHANGES OR NON-COMPLIANCE OF SUCH CODES AND ORDINANCES IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE ARCHITECT, DESIGNER, AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE TRADES OR TRADE CONTRACTORS. THE ARCHITECT, DESIGNER, AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE TRADES OR TRADE CONTRACTORS. THE ARCHITECT, DESIGNER, AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE TRADES OR TRADE CONTRACTORS.

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR THE SOLE PURPOSE OF THE PROJECT AND AS A CONSTRUCTION GUIDE AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, DESIGNER, AND/OR CONTRACTOR.

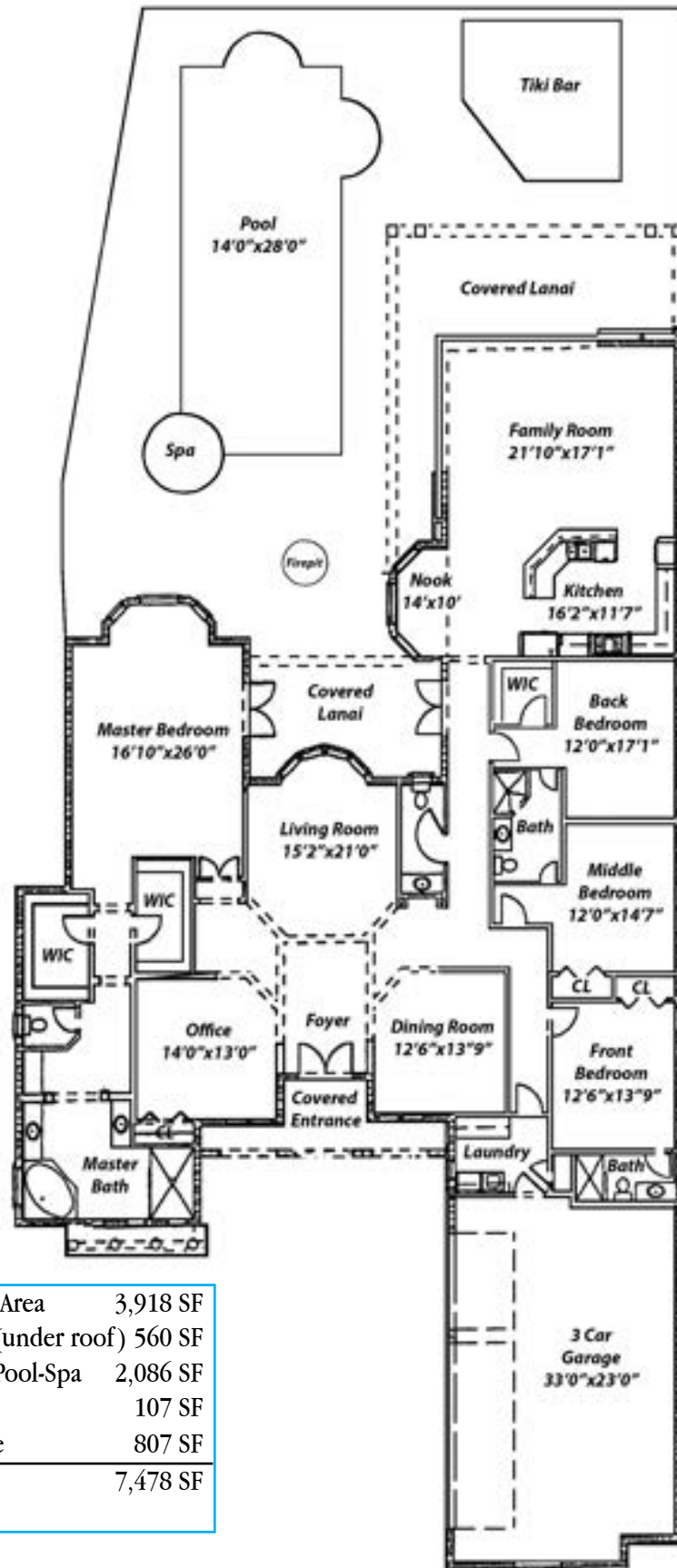
THE "R" DESIGN CORP. HEREBY RECEIVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS, IDEAS AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, DESIGNER, AND/OR CONTRACTOR. ANY VIOLATION OF THE ARCHITECT, DESIGNER, AND/OR CONTRACTOR'S RIGHTS SHALL BE THE RESPONSIBILITY OF THE USER AND THE USER SHALL BE RESPONSIBLE FOR ALL DAMAGES AND COSTS OF THE ARCHITECT, DESIGNER, AND/OR CONTRACTOR'S SUITS AND LITIGATION.



**The Windward IV**  
 By Breakwater Custom Homes, Inc.

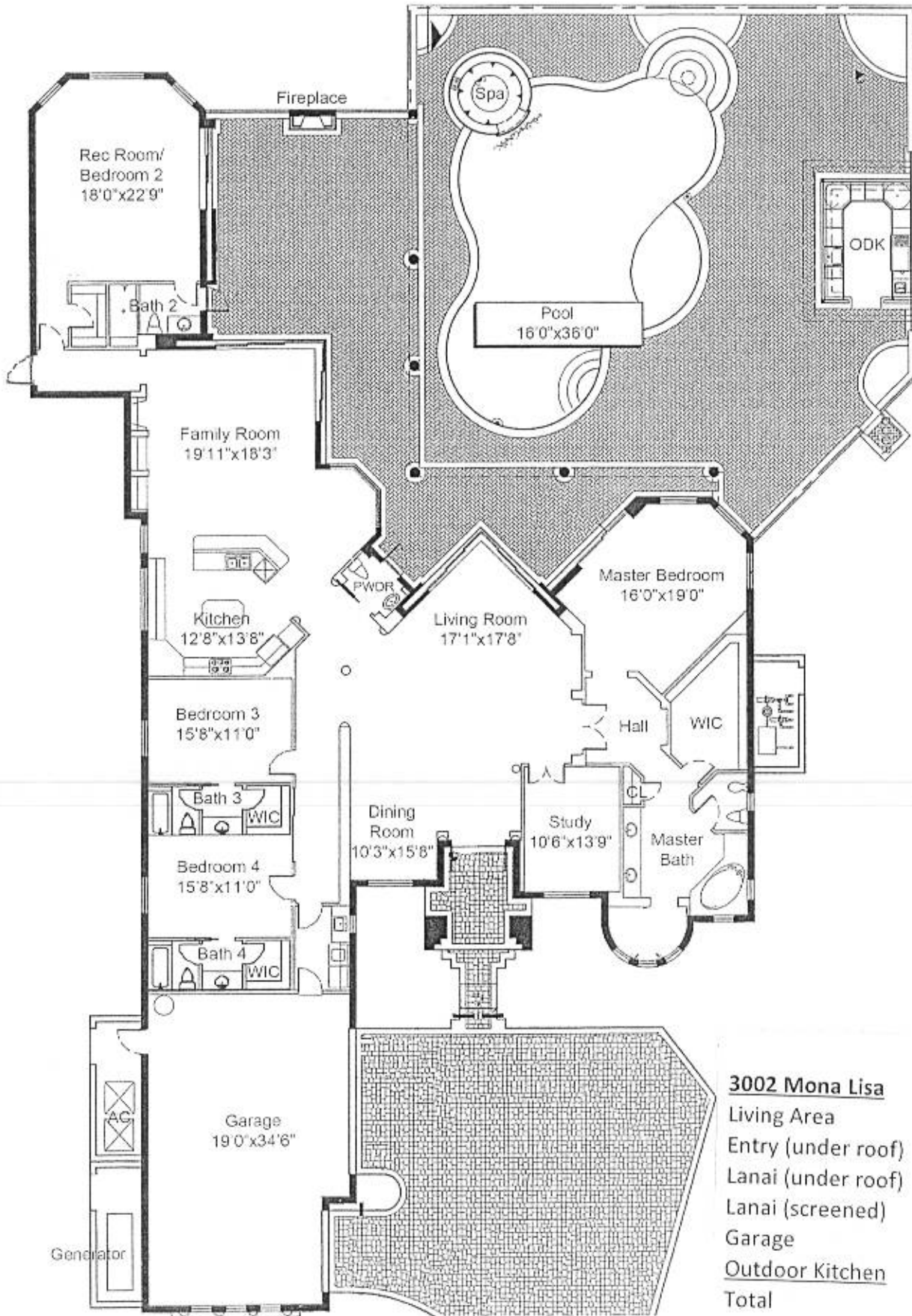
Square Footage	
Living	3,776 sq. ft.
3-Car Garage	660 sq. ft.
Lanai	810 sq. ft.
Entry	160 sq. ft.
<b>Total area</b>	<b>5,406 sq. ft.</b>
Length: 125'	Width: 73'-6"

THESE DRAWING ARE CONCEPTUAL AND ARE ONLY FOR THE CONVENIENCE OF REFERENCE. THEY SHOULD NOT BE RELIED UPON AS EXPRESS OR IMPLIED REPRESENTATION OF THE FINAL DETAIL OF THE RESIDENCES. THE BUILDER MAINTAINS A DESIGN PROGRAM AND THEREFORE RESERVES THE RIGHT TO MAKE MODIFICATIONS OR REVISIONS TO FEATURES, PLANS, AND PRICING WITHOUT PRIOR NOTICE. THE DIMENSIONS AND SQUARE FOOTAGE ARE APPROXIMATE AND MAY VARY WITH ACTUAL CONSTRUCTION.



Living Area	3,918 SF
Lanai (under roof)	560 SF
Lanai/Pool-Spa	2,086 SF
Entry	107 SF
Garage	807 SF
<b>Total</b>	<b>7,478 SF</b>

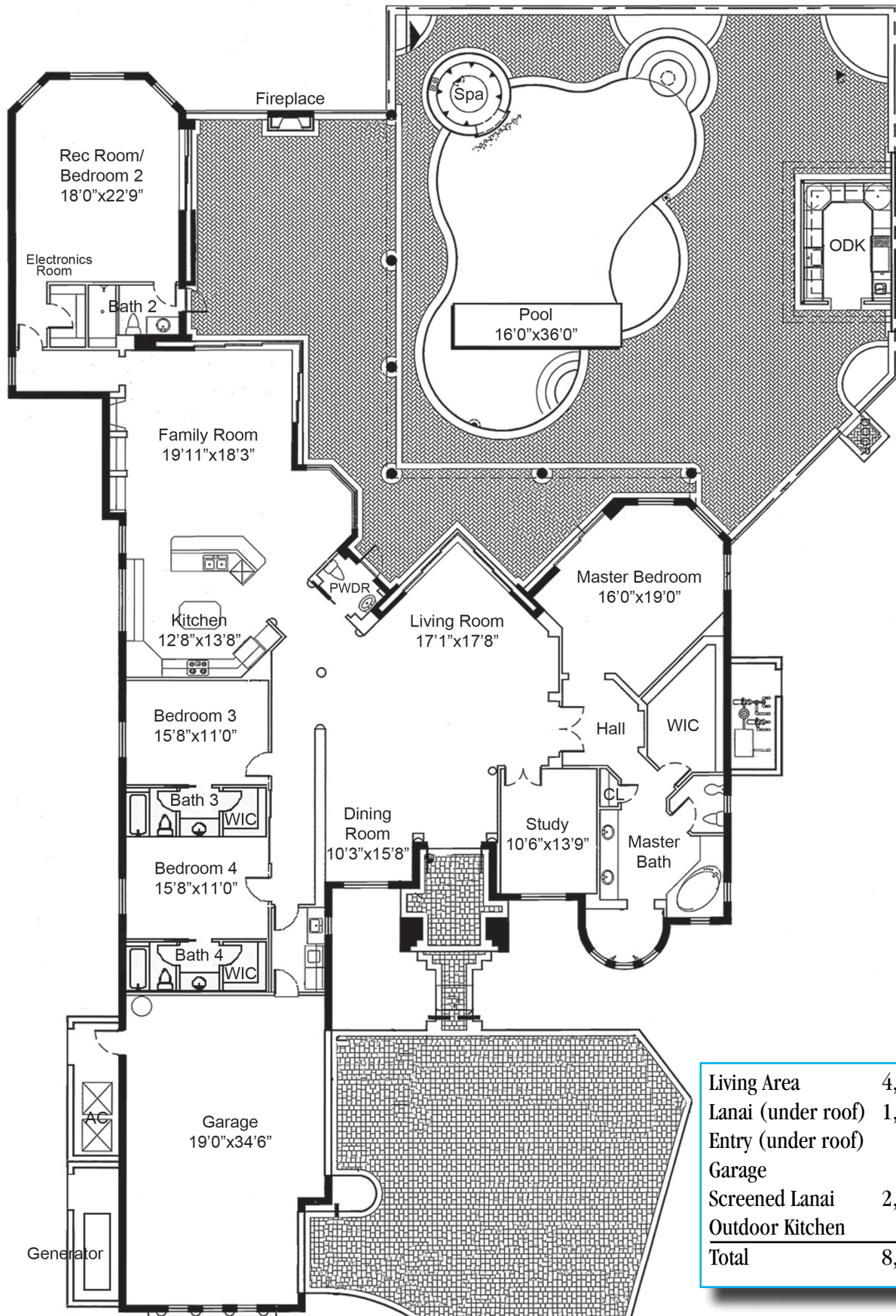
*Note: All dimensions are from builder's blue prints, Collier County tax records & Appraiser - should be verified independently.*



<b>3002 Mona Lisa</b>		<b>SQ FT</b>
Living Area		4,018
Entry (under roof)		112
Lanai (under roof)		1,029
Lanai (screened)		2,203
Garage		792
Outdoor Kitchen		198
<b>Total</b>		<b>8,352</b>

*Note: All dimensions are from tax records & builder blue prints - should be verified independently.*

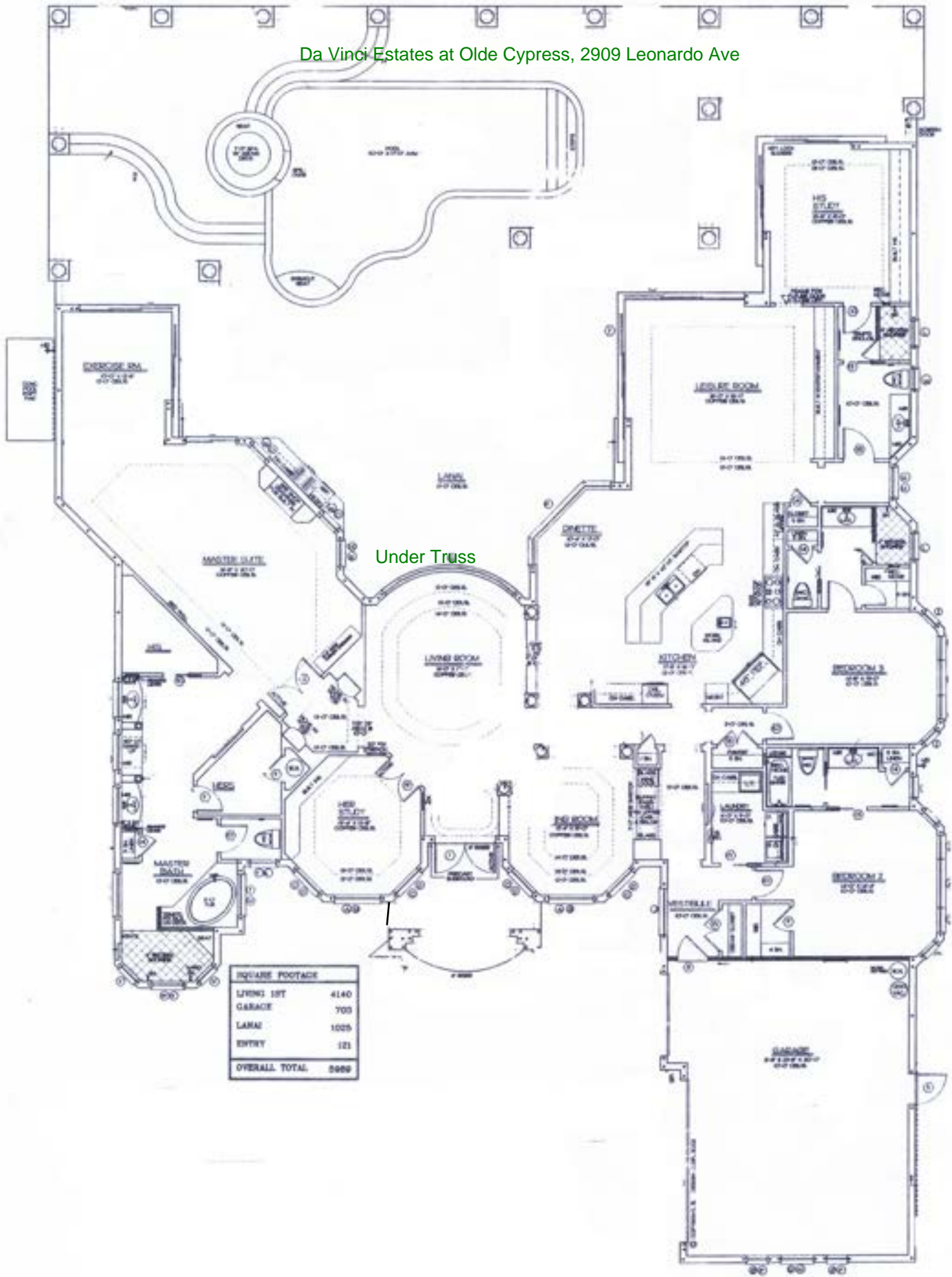




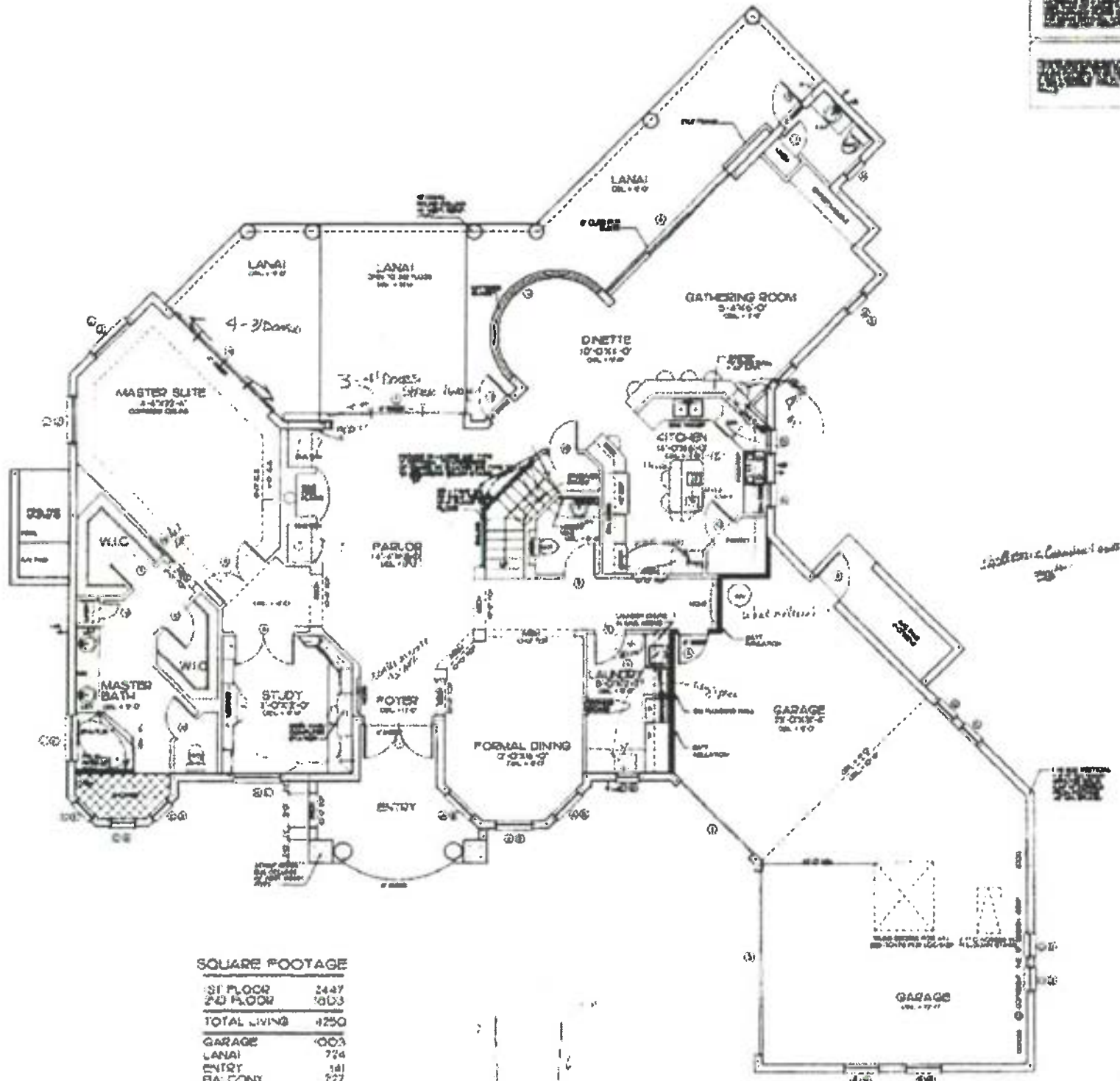
Living Area	4,109 SF
Lanai (under roof)	1,023 SF
Entry (under roof)	112 SF
Garage	777 SF
Screened Lanai	2,203 SF
Outdoor Kitchen	198 SF
<b>Total</b>	<b>8,422 SF</b>

*Note: All dimensions are from tax records & builder blue prints - should be verified independently.*

Da Vinci Estates at Olde Cypress, 2909 Leonardo Ave



SQUARE FOOTAGE	
LIVING 1ST	4140
GARAGE	700
LAMA	1000
ENTRY	121
<b>OVERALL TOTAL</b>	<b>6961</b>



**SQUARE FOOTAGE**

1ST FLOOR	2447
2ND FLOOR	1003
<b>TOTAL LIVING</b>	<b>1250</b>
GARAGE	1003
LANAI	724
ENTRY	181
BALCONY	227
<b>TOTAL</b>	<b>6345</b>

